

# MEMORANDUM

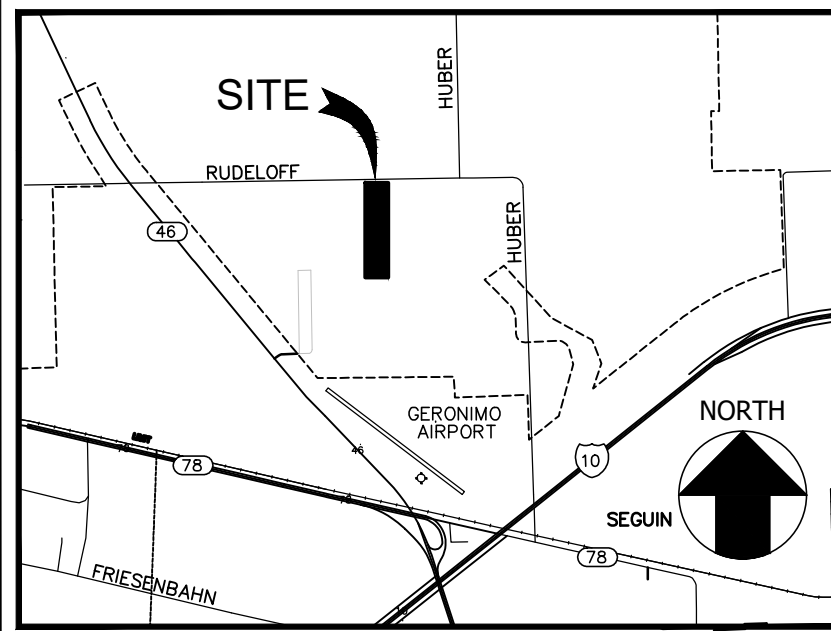
**To:** Seguin Planning and Zoning Commission  
**From:** Kyle Warren, Planner  
**Subject:** JBB Properties Subdivision – Final Plat  
**Date:** August 30, 2024

City staff has reviewed the final plat for the JBB Properties Subdivision for compliance with the Unified Development Code (UDC) and applicable City requirements. JBB Properties Subdivision is Light Industrial, LI. The plat for JBB Properties Subdivision totals 12.0 acres.

Staff have identified minor deficiencies that can be revised and reviewed by staff without further review of the Planning & Zoning Commission. Staff recommends approval of the Final Plat with the following conditions:

- Confirm the need of parkland notes
- Remove duplicate notes and signature blocks found on 2<sup>nd</sup> page
- Check referenced panel in floodplain note
- Miscellaneous labeling issues (UDC, Technical Manual)
- Remove unnecessary information from plat diagram
- Signature block corrections needed (UDC Technical Manual, standardized signature blocks)

If an Approval with Conditions is granted by the Planning & Zoning Commission, the applicant will need to provide the revised final plat to City Staff to ensure conditions have been met before moving forward to recordation.



LOCATION MAP  
NO SCALE

GENERAL NOTES:

- SITE SURVEY DATE: FEBRUARY 27, 2024
- BASE OF BEARING IS THE NORTH AMERICAN DATUM OF 1983 (CPRS 1996) FROM THE TEXAS COORDINATE SYSTEM ESTABLISHED FOR THE SOUTH CENTRAL ZONE DISPLAYED IN GRID VALUES FROM THE NGS COOPERATIVE CORNS NETWORK.
- PROPERTY CORNERS ARE MONUMENTED WITH A CAP OR DISK MARKED "D. A. MAWYER" UNLESS OTHERWISE NOTED. MONUMENTS OR PINS WERE FOUND OR SET AT EACH CORNER OF SURVEY BOUNDARY IN ACCORDANCE WITH THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING.
- THIS PLAT IS SUBJECT TO THE CITY OF SEGUIN "UNIFIED DEVELOPMENT CODE".
- SIDEWALK MEETING ADA REQUIREMENTS SHALL BE PROVIDED IN ACCORDANCE WITH THE CITY OF SEGUIN "UNIFIED DEVELOPMENT CODE".
- BUILDING SETBACK LINES SHALL BE PRESCRIBED UNDER THE DESIGNATED ZONING DISTRICT ESTABLISHED BY THE CITY OF SEGUIN.
- LOTS BEING CREATED:

LOT: 1 BLOCK 1  
 LOT: 2 BLOCK 1 Depict Lot 2 or remove reference in notes.

8. OWNER/DEVELOPER:

JASON BERRIDGE  
 JBB PROPERTIES, LLC.  
 P.O. BOX 389  
 SEGUIN, TEXAS 78156

- THE TRACT OF LAND SHOWN HEREON LIES WITHIN THE NAVARRO INDEPENDENT SCHOOL DISTRICT.
- NO PORTION OF THIS TRACT IS LOCATED IN THE FLOODPLAIN AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FEDERAL INSURANCE MAP PANEL 48187C0140F DATED 11/2/2007. Check Panel
- STORMWATER RUNOFF MANAGEMENT TO MITIGATE THE INCREASE OF RUNOFF FROM LAND DEVELOPMENT AS REQUIRED.
- THE MANAGEMENT OF STORMWATER RUNOFF IS THE RESPONSIBILITY OF THE PROPERTY OWNER(S) OR ASSIGNED AGENT. STORMWATER MANAGEMENT INCLUDES, BUT IS NOT LIMITED TO: CONSTRUCTION, MAINTENANCE AND ONSITE FACILITIES WHETHER TEMPORARY (EROSION/SEDIMENTATION CONTROL) OR PERMANENT INCLUDING CONVEYANCE, STORAGE, DISCHARGE AND REGULATORY COMPLIANCE CONSISTENT WITH APPLICABLE CITY CODES, ORDINANCES AND STATE AND FEDERAL LAWS.
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- UTILITY PROVIDERS:

WATER: SPRING HILLS WATER SUPPLY CORPORATION  
 ELECTRIC: GUADALUPE VALLEY ELECTRIC COOP. INC.  
 WASTEWATER: CITY OF SEGUIN  
 CABLE/TELE.: SPECTRUM  
 NATURAL GAS: N/A

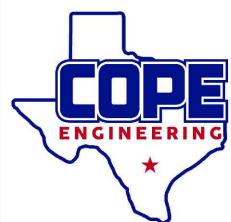
PARK NOTES:

- DEVELOPMENT IS SUBJECT TO THE CITY OF SEGUIN'S PARKLAND DEDICATION ORDINANCE. HOMEOWNER'S ASSOCIATION (HOA), PRIVATE PARKLAND DEDICATION AND OTHER COMMON AREAS WILL BE MAINTAINED IN PERPETUITY BY THE HOA. ALL PARK AMENITIES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE PARK DEVELOPMENT AGREEMENT. THE FEE IN-LIEU-OF WILL BE IN ACCORDANCE WITH THE PARK DEVELOPMENT AGREEMENT.
- THIS IS A 100% FEE IN-LIEU-OF PARKLAND DEDICATION AND DEVELOPMENT SUBDIVISION. FEES WILL BE PAID IN ACCORDANCE WITH THE CITY OF SEGUIN'S UDC.

Parkland notes are only required for Residential development. Confirm removal with Parks Director



SURVEYOR:  
 D. A. MAWYER, R.P.L.S., #5348  
 5151 W. S.H. 46  
 NEW BRAUNFELS, TX 78132  
 (830) 730-4449



COPE ENGINEERING, INC.  
 8611 BOTTS LANE  
 SAN ANTONIO, TX 78217  
 (210) 828-7070 OFFICE

TEXAS REG. #F-16078

WWW.COPEENGINEERINGTX.COM

SHWSC NOTES:

- THIS TRACT IS WITHIN THE BOUNDARIES OF WATER CERTIFICATE OF CONVENIENCE AND NECESSITY NO. 10666 WHICH IS POSSESSED BY SHWSC. EXISTING WATER INFRASTRUCTURE THE VICINITY OF THE TRACT IS AVAILABLE TO SERVE THE PROPOSED DEVELOPMENT. SHWSC HAS AGREED TO PROVIDE WATER SERVICE TO THE REFERRED TRACT, PLATTED AS SHOWN HEREIN, BASED UPON THE EXECUTION OF A NON-STANDARD SERVICE AGREEMENT BETWEEN SHWSC AND THE LANDOWNER AND COMPETITION OF THE OBLIGATIONS CONTAINED HEREIN.
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THIS PLAT OF SUBDIVISION HAS BEEN SUBMITTED AND APPROVED BY SPRINGS HILL WATER SUPPLY CORPORATION FOR EASEMENTS.

AUTHORIZED AGENT

SPRINGS HILL WATER SUPPLY CORPORATION

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AGENT FOR GUADALUPE VALLEY ELECTRIC COOP., INC.

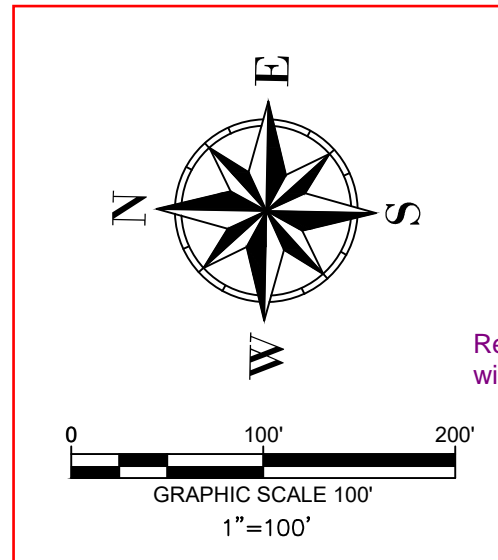
SUBDIVISION PLAT ESTABLISHING  
 JBB PROPERTIES SUBDIVISION

BEING 12.00 ACRES OUT OF THE J.D. CLEMENTS SURVEY, ABSTRACT NO. 11, GUADALUPE COUNTY, TEXAS, AND THE LAND DESCRIBED IN A CONVEYANCE TO J.B.B. PROPERTIES, LLC. IN THE DEED OF RECORD NO. 22734, VOLUME 2080, PAGE 0923 OF THE OFFICIAL PUBLIC RECORDS OF GUADALUPE COUNTY, TEXAS.

DATE: 04/01/2024

LEGEND

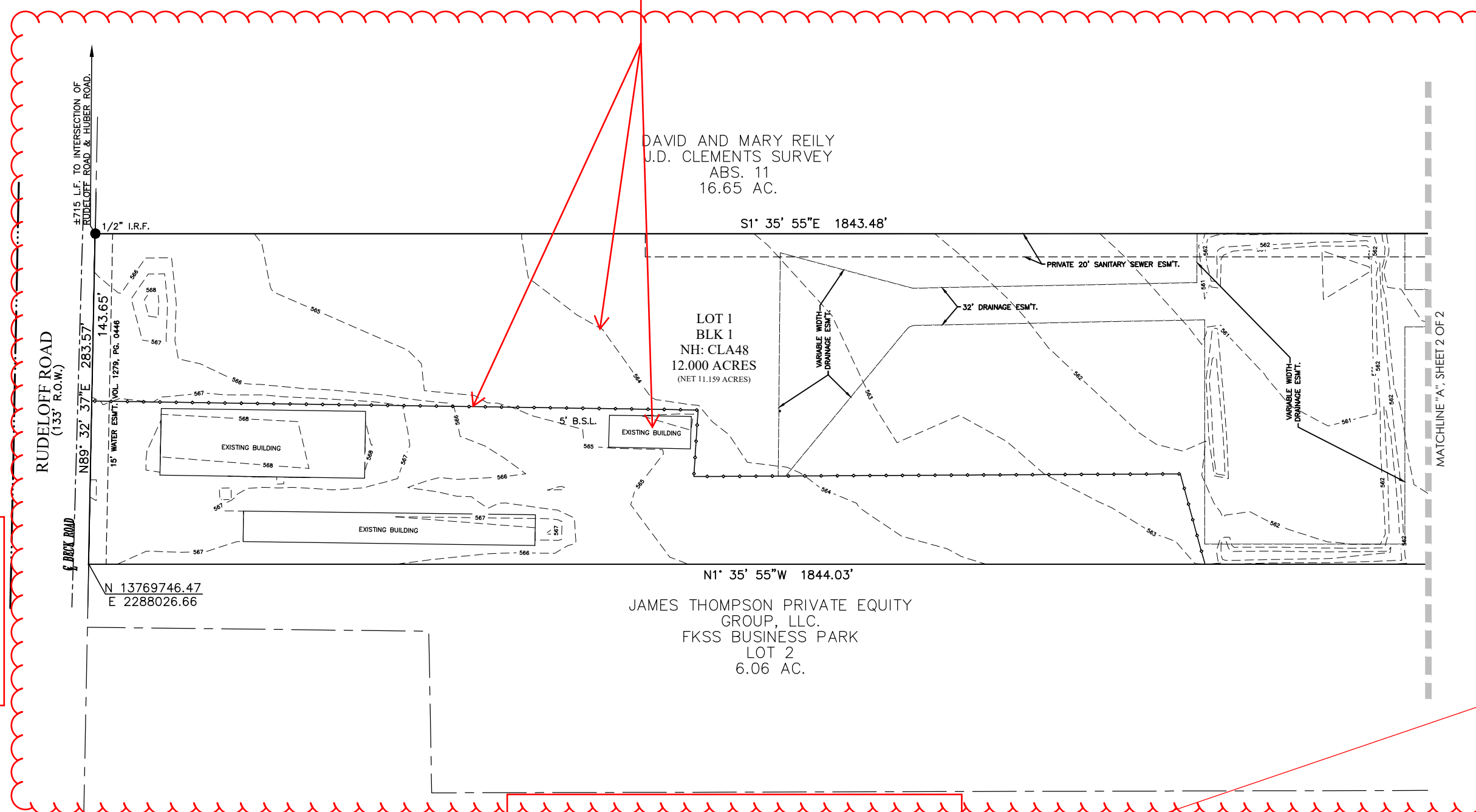
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| ---           | RUDELOFF RD. CENTERLINE  |
| ---           | DRAINAGE EASEMENT        |
| ---           | SANITARY SEWER EASEMENT  |



Remove from cover if plat "map" will be shown only on sheet 2.

Please remove all contour lines, fence lines, and existing structures from plat.

It is suggested to consolidate this view into a single plat view of the entire property at 1" = 100' scale on sheet 2. A suggested sheet 2 plat configuration will be attached to this permit and also issued by email correspondence for review and consideration.



I (WE) THE UNDERSIGNED OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS JBB PROPERTIES SUBDIVISION, GUADALUPE COUNTY, TEXAS AND WHOSE NAME IS SUBSCRIBED TO, DO HEREBY SUBDIVIDE SUCH PROPERTY AND DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLIES, PARKS, WATERCOURSES DRAINS, EASEMENTS AND PUBLIC PLACES FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

PROPERTY OWNER/AGENT:

JASON BERRIDGE  
 JBB PROPERTIES, LLC.  
 P.O. BOX 389  
 SEGUIN, TX 78156

STATE OF TEXAS §

COUNTY OF GUADALUPE §

BEFORE ME THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING CERTIFICATION AND ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME FOR THE PURPOSES OF CONSIDERATION THEREIN EXPRESSED AND CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2024 A.D.

NOTARY SIGNATURE

STATE OF TEXAS §

COUNTY OF GUADALUPE §

I, DREW A. MAWYER, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, INDICATE TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PLAT IS TRUE AND CORRECT, CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE ON THE GROUND, UNDER MY SUPERVISION.

DREW A. MAWYER, R.P.L.S. #5348

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COUNTY OF GUADALUPE §

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(NOTARY SIGNATURE)

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COUNTY OF GUADALUPE §

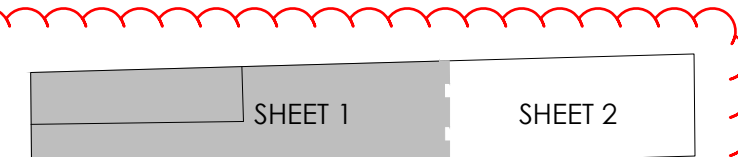
I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT TO THE MATTERS OF STREET, LOTS, AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE CITY OF SEGUIN.

BRIAN M. COPE, P.E. #93735

Relocate to right side of sheet.

GUADALUPE COUNTY CLERK'S OFFICE TEMPLATE BLOCK IS NO LONGER REQUIRED PER THEIR NEW SYSTEM WHICH GENERATES RECORDATION LABELS.

THIS AREA NEEDS TO HAVE A 3" TALL BY 4" WIDE BLANK SPACE TO ACCOMMODATE THE NEW RECORDING LABEL.



SHEET INDEX MAP  
NOT TO SCALE

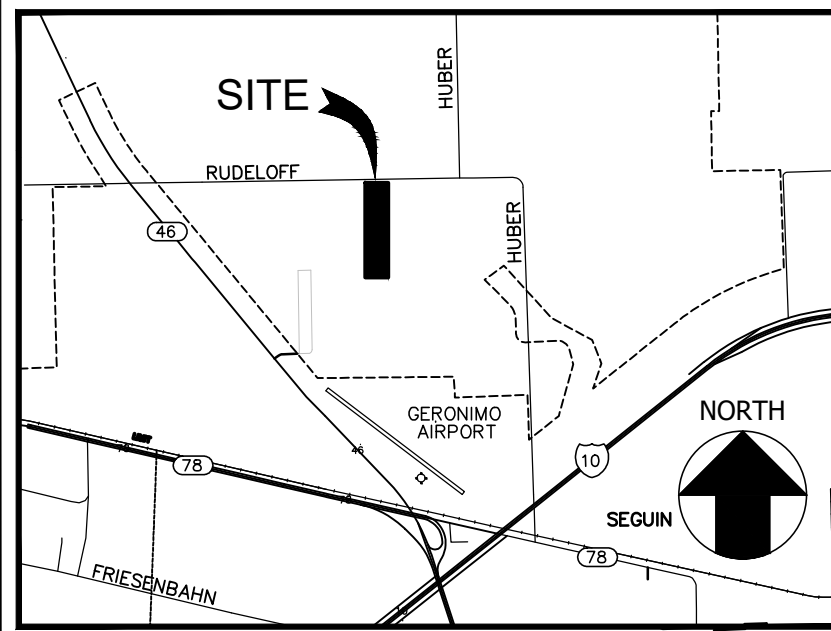
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CHAIRPERSON \_\_\_\_\_ RECORDER \_\_\_\_\_  
 CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_  
 MELISSA REYNOLDS, P.E., CFM, MPA  
 DIRECTOR OF PLANNING \_\_\_\_\_ DATE \_\_\_\_\_  
 PAMELA CENTENO

add notes  
 PLAT NOTES APPLY TO EVERY PAGE OF THIS MULTIPLE PAGE PLAT

SEE SHEET X OF X FOR LINE AND CURVE TABLES



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LOT: 1 BLOCK 1  
LOT: 2 BLOCK 1

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JASON BERRIDGE  
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P.O. BOX 389  
SEGUIN, TEXAS 78156

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ELECTRIC: GUADALUPE VALLEY ELECTRIC COOP. INC.  
WASTEWATER: CITY OF SEGUIN  
CABLE/TELE.: SPECTRUM  
NATURAL GAS: N/A

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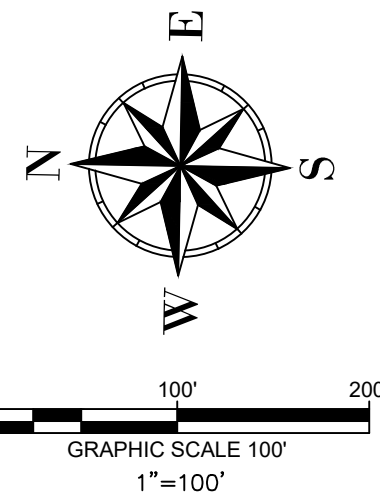
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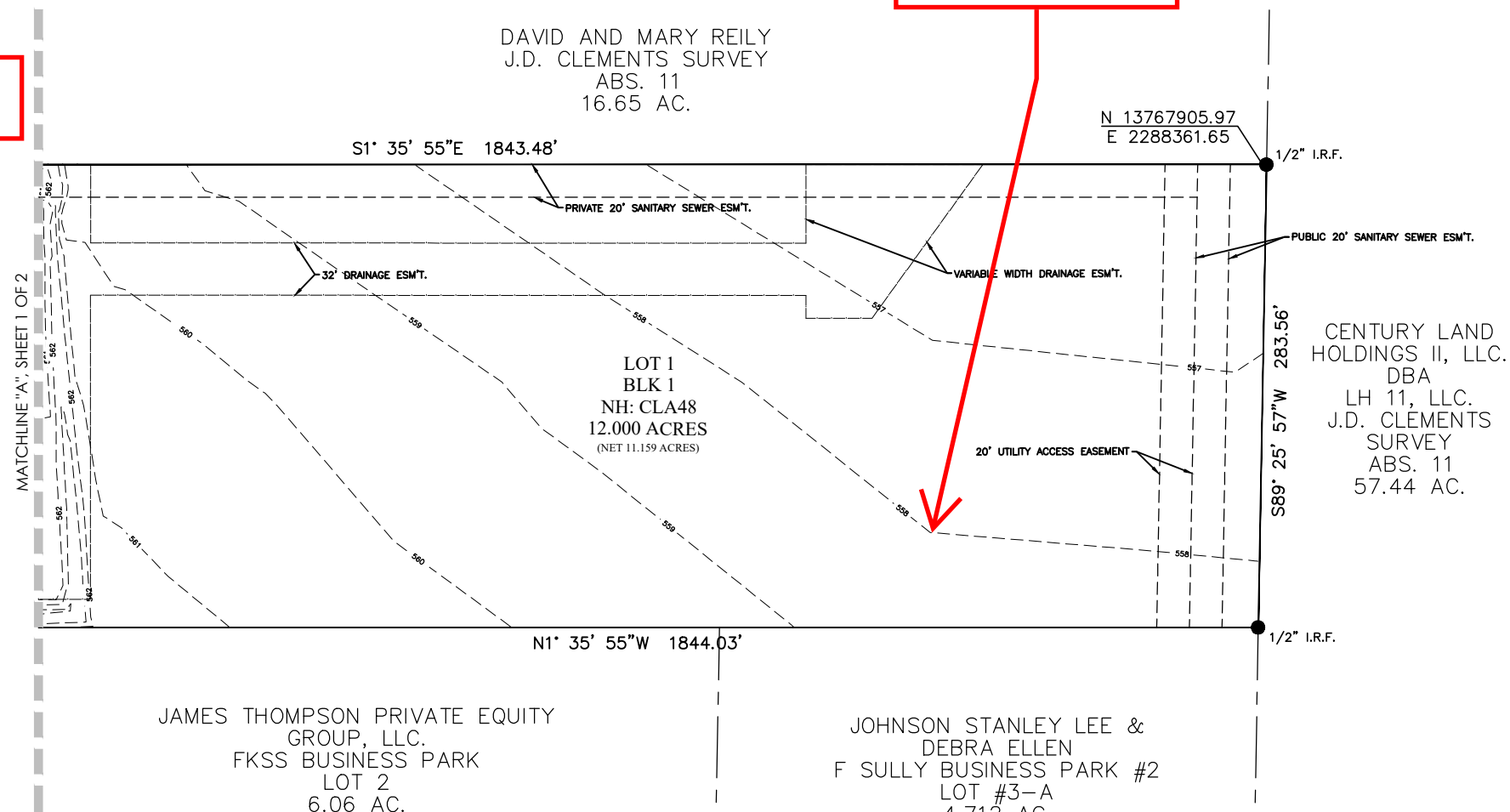
LEGEND

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Duplicate notes can be removed.

Please remove contour lines from plat.



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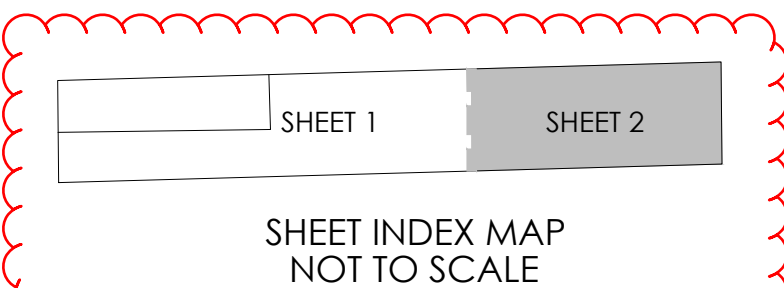
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BRIAN M. COPE, P.E. #93735

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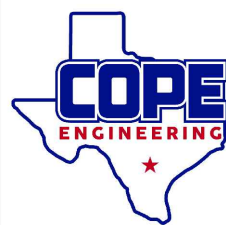
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|  |                   |
|--|-------------------|
| _____<br>CHAIRPERSON                                       | _____<br>RECORDER |
| _____<br>CITY ENGINEER<br>MELISSA REYNOLDS, P.E., CFM, MPA | _____<br>DATE     |
| _____<br>DIRECTOR OF PLANNING<br>PAMELA CENTENO            | _____<br>DATE     |



SURVEYOR:  
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