

NOLTE FARMS

A NEW VISION FOR DEVELOPMENT IN SEGUIN, TEXAS



REGULATING PLAN AND DEVELOPMENT STANDARDS

Nolte Farms
Regulating Plan and Development Standards
Seguin, Texas

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Town Builders, LP

PLANNED UNIT DEVELOPMENT REVISION

An action revising the existing Planned Unit Development number 06-65 for Nolte Farms.

This Regulating Plan is approved by the Planning and Zoning Commission on February 10, 2015 and takes effect on February 11, 2015.

Passed and Approved:

February 10, 2015 _____ Stan Jackel, Chairman

Attest: _____ Dora Toungate, Recording Secretary

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Section 1.0

Introduction : Why use Development Standards?

THE NOLTE FARMS PLAN

Nolte Farms was conceived as a new mixed-use hamlet for the City of Seguin, offering local retail, daily services, and residential development all in close proximity to one another. The goal was not to detract from the existing main street, but rather to enhance it by offering quality development as an extension of the city's existing attributes.

While this form of development is traditional from a historic standpoint, it no longer represents conventional suburban development patterns. Traditional Neighborhood Development principles form the backbone for the design decisions that have been made in creating the Nolte Farms plan. Many of these principles are rooted in time-tested methodologies and practices, but vary from current development standards in many cities around the United States. Consequently, the Nolte Farms team has crafted a Regulating Plan and Development Standards in order to assist the City of Seguin in administration of the development and allow the Master Developer to utilize a new form of development control in the build-out of Nolte Farms.

The Regulating Plan and Development Standards streamlines the entitlement and site planning process while outlining the desired form of development to a greater extent than simplistic land use and parking regulations

PRINCIPLES OF TRADITIONAL NEIGHBORHOOD DEVELOPMENT (TND)

These are the principles that have been integrated into the Nolte Farms plan. Each principle is followed by the reason or condition that has caused us to pursue this form of development.

1. Cluster retail and basic services together along a single street, without expansive parking lots between them.

This allows people to park once and walk from store to store, reducing vehicle-miles traveled and the resulting congestion often associated with new suburban retail locations.

2. Locate the parking behind the building, shading the parking and providing broad sidewalks in front of the stores, shaded by street trees.

Shaded parking and pedestrian-oriented sidewalks greatly enhances the experience of coming and going from that retail space. Trees have consistently been shown to increase land values, even if only used to shade or screen parking.

3. Integrate residential in close proximity to retail to create a more walkable, sustainable, and usable neighborhood.

If people can walk to work or shopping locations, a second household vehicle may become optional. This flexibility is also enhanced by alternative transportation options. In communities around Central Texas and around the country, neighborhoods offering this degree of flexibility are consistently becoming more desirable than neighborhoods that isolate residential from commercial uses.

4. Buildings are required to be built directly at the edge of the sidewalk, clearly defining a public street space. Parking is located in the back of buildings, improving the visual connection of buildings to the street. Parking is connected to the front sidewalk by pedestrian passages between buildings.

Placing commercial space directly on the sidewalk improves the experience of walking along the sidewalk and improves the retailing experience by taking advantage of pedestrian activity.

5. Provide moderately dense housing alternatives for people less interested in a large house and yard.

Conventional suburban housing is often still designed for families with two parents and kids, assuming they are looking for a large house and yard. This demographic now represents a much smaller part of the market than it used to, and increasingly, buyers are looking for smaller homes with less maintenance. The townhouse and cottage neighborhoods included in Nolte Farms are designed to offer a variety of homes catering to a variety of ages and income levels.



Above is an artist's rendering of the desired look and feel of a commercial/mixed use street in Nolte Farms - retail shop fronts are pulled up to the shaded sidewalk, parking is provided along the street and behind the buildings. Sidewalks are generous and street widths are narrower than usual. All streets are designed to accommodate pedestrians and cyclists as well as auto traffic.



Nolte Farms Boulevard encourages development of retail frontages and public spaces. This artist's rendering illustrates the possibility of a public square anchoring one end of the street. Evening entertainment and dining within Nolte Farms would add to the quality of the neighborhood by offering walkable destinations other than just for shopping.



The plan includes a location for an event center, framing one side of a public green like many traditional small town squares. The greenbelt adds several acres of public open space and may include amenities like the performance area shown above.

Section 2.0

How to Use These Standards

The intent of the Development Standards is to create a clear and predictable system of design standards that become enabling tools to create a more sophisticated and inherently richer form of community. This form of community embraces a diversity of uses, people, and buildings. The standards are prescriptive, that is, they delineate the desired result and enable its success. The standards are graphic by nature as drawings can more clearly communicate what is prescribed under, or sought by the standards. The standards are organized into four principle sections, The Regulating Plan, The Frontage Types, The Street Types and Other Standards. Used in

concert, these four components form a “Graphical User Interface” utilized by the public and private sectors to expedite the permitting and development process.

DEVELOPMENT PROCEDURE

Component developments in the various Districts will have the incentive of speed to delivery in that the first two steps in the development process, Zoning and Preliminary Plan, are approved by the adoption of this Regulating Plan. Preliminary and final plats will follow the same procedure as other projects, but will be aided

by being components of the Regulating Plan. Building permits and approval of construction plans for infrastructure will follow the procedures currently in place.

THE REGULATING PLAN

The Regulating Plan lays out the street grid and precisely marks the various urban design regulations within the Standards which are used to produce the community design or town plan. The Regulating Plan designates where and how the Frontage Types are appropriately combined with the various Street Types. The Regulating Plan also designates sites to be set-aside for public open spaces and special sites reserved for civic buildings (such as town halls, schools, and churches).

THE FRONTAGE TYPES

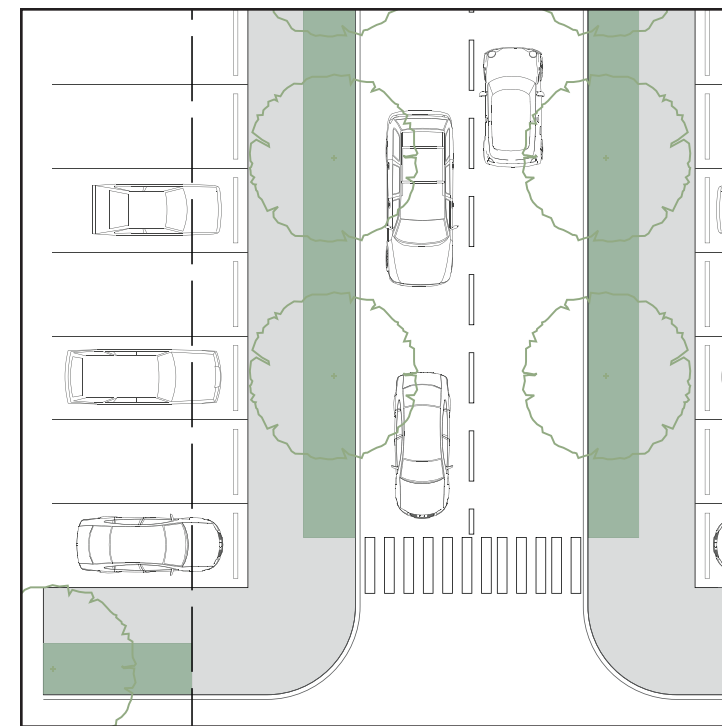
The Frontage types take the place of typical zoning categories. Each Frontage type defines the required placement of buildings (build-to-line), the minimum and maximum height, parking standards, architectural standards, and allowable uses for the property. By using a Frontage type instead of traditional zoning, the standards require that buildings meet the sidewalk in a particular way, ensuring the quality of the pedestrian experience.

THE STREET TYPES

The Street Types set out, according to the Regulating Plan, the physical parameters of each street including right-of-way and pavement width, design speed, parking, placement of street trees, etc. The Street Type combined with the Frontage Type establishes the all-important public realm. The public realm is the space defined by opposing building fronts which contains the sidewalks, streets, and open spaces.

OTHER STANDARDS

Other Standards including Open Space, Landscape, Drainage and Signage augment the Frontage and Street Types by filling in important details. These details serve to define the quality of the community beyond what type of building should be built. They set out and ensure what the quality of the public realm will be.



Section 2.1

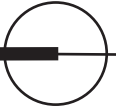
Illustrative Plan

THE ILLUSTRATIVE PLAN

This plan for Nolte Farms represents one potential build-out option and is not intended to replace individual site plans. Streets, block patterns, and land uses shown on this plan are defined and enabled by the Regulating Plan on the following pages.



NORTH



0 400' 800' 1200'

Section 3.0

Definitions

For the purposes of these Development Standards, the following terms, phrases, words and their derivations shall have the meaning ascribed to them in this section:

Appurtenances: Spires, belfries, cupolas, water tanks, ventilators, chimneys or other appurtenances usually required to be placed above the roof level and not intended for human occupancy.

Arcade: a Private Frontage conventional for Retail use wherein the Facade is a colonnade supporting habitable space that overhangs the Sidewalk, while the Facade at Sidewalk level remains at the Build to Line.

Avenue (AV): a Thoroughfare of high vehicular capacity and low to moderate speed, acting as a short distance connector between urban centers, and usually equipped with a landscaped median.

Bed and Breakfast: An owner-occupied Lodging type offering 1 to 5 bedrooms, permitted to serve breakfast in the mornings to guests.

Bicycle Lane (BL): a dedicated lane for cycling within a moderate-speed vehicular Thoroughfare, demarcated by striping or other markings.

Block: the aggregate of private Lots, Passages, Rear Alleys and Rear Lanes, circumscribed by Thoroughfares.

Boulevard (BV): a Thoroughfare designed for high vehicular capacity and moderate speed, traversing an Urbanized area. Boulevards are usually equipped with Slip Roads buffering Sidewalks and buildings.

Civic: the term defining not-for-profit organizations dedicated to arts, culture, education, recreation, government, transit, and/or municipal parking.

Build to Line (or “Setback”): The line within a property defining the maximum horizontal distance between a building and the adjacent street right of way line.

City: refers to the City of Seguin, Texas

Civic Building: a building operated by not-for-profit organizations dedicated to arts, culture, education, economic development, recreation, religion, government, transit, and municipal parking, or for use approved by Nolte Farms.

Civic Uses: The use of a parcel of land for one or more of the following purposes: administrative and business offices used by a governmental entity, park and recreation services, college and university, cultural services, private and public primary and secondary educational uses, religious assembly use, public hospital services, safety and medical services, transportation terminal uses,

monuments or transit stops.

Commercial: the term collectively defining workplace, Office, Retail, Service, Sales, Display and Lodging Functions.

Design Speed: is the velocity at which a Thoroughfare tends to be driven without the constraints of signage or enforcement. There are four ranges of speed: Very Low: (below 20 MPH); Low (20-25 MPH); Moderate: (25-35 MPH); High: (above 35 MPH). Lane width is determined by desired Design Speed. Design Speed is related to but separate from the posted Speed Limit.

Developer (Master Developer): Nolte Farms Development Corporation, a Texas Limited Liability Company; serves as the owner and development entity for the Nolte Farms project.

Director: The Director of Planning for the City of Seguin.

District: An area of land developed with similar, distinguishing characteristics or uses.

Driveway: a vehicular lane within a Lot, often leading to a garage.

Effective Turning Radius: the measurement of the inside Turning Radius taking parked cars into account.

Elevation: an exterior wall of a building not along a Frontage Line. See: Facade.

Encroach: to break the plane of a vertical or horizontal regulatory limit with a structural element, so that it extends into a Setback, into the Public Frontage, or above a height limit.

Encroachment: any structural element that breaks the plane of a vertical or horizontal regulatory limit, extending into a Setback, into the Public Frontage, or above a height limit.

Facade: the exterior wall of a building that is set along a Frontage Line. See Elevation.

Forecourt: a frontage wherein a portion of the facade is at the build-to line while a significant portion is setback allowing suitable space for a garden, terrace or entry courtyard.

Frontage: The area between a building Facade and the vehicular lanes, inclusive of its built and planted components. Frontage is divided into Private Frontage and Public Frontage.

Frontage Line: a Lot line bordering a Public Frontage. Facades facing Frontage Lines define the public realm and are therefore more regulated than the Elevations facing other Lot Lines.

Green: a Civic Space type for unstructured recreation, spatially defined by landscaping rather than building Frontages.

Half-Story: the portion of a buildings habitable, conditioned space such as an attic or basement with windows.

Home Occupation: non-Retail Commercial enterprises. The work quarters should be invisible from the Frontage, located either within the house or in an Outbuilding.

Live-Work (or Work-Live): a Mixed Use unit consisting of a Commercial and Residential Functions. The Commercial Function may be anywhere in the unit. It is to be occupied by a business operator who lives in the same structure that contains the Commercial activity or industry or it may be leased.

Lodging: Premises available for daily and weekly renting of bedrooms.

Lot Line: the boundary that legally and geometrically demarcates a Lot.

Lot Width: the length along the Principal Frontage Line of a Lot.

Nolte Farms: Nolte Farms Development Corporation, a Texas Limited Liability Company; serves as the owner and development entity for the Nolte Farms project.

Off-Street Parking: Vehicular parking outside the street right-of-way that have adequate drives, aisles, and turning and maneuvering areas for access and usability.

Office: uses associated with buildings occupied for the transaction of business, excluding retail and manufacturing.

On-Street Parking: Vehicular parking contained on the street pavement (public and private streets) located outside the primary travel way, which spaces shall be designated and located parallel or at an angle to the street centerline.

Open Space: A parcel or parcels of land or an area of water, or a combination of land and water, which may include floodplain and wetland areas, within a development area and intended for the use and enjoyment of residents of the development area and, where designated, the community at large, which may be landscaped and improved.

Park: a Public Space type that is available for rest and recreation, may be privately developed and maintained but publicly accessible.

Plaza: a Civic Space type designed for Civic purposes and Commercial activities in the more urban Transect Zones, generally paved and spatially defined by building Frontages.

Principal Building: the main building on a Lot, usually located toward the Frontage.

Regulating Plan: a Zoning Map or set of maps that shows the Use Zones, Civic Zones, Special Districts if any, and Special Requirements if any, of areas subject to, or potentially subject to, regulation by the Development Standards.

Retail: uses for commercial enterprises established for the sale of goods and services.

Residential: uses associated with buildings occupied for the purpose of long term human habitation, excluding lodging

Shared Parking Factor: an accounting for parking spaces that are available to more than one Function.

Shopfront: a Private Frontage conventional for Retail use, with substantial glazing and an awning, wherein the Facade is aligned close to the Frontage Line with the building entrance at Sidewalk grade.

Side Yard Lot: A Lot created for the purpose of a dwelling to be constructed along or near an interior side Lot line with a yard created on the opposite side of the Lot.

Sideward Building: a building that occupies one side of the Lot with a Setback for a yard on the other side. This type can be a Single or Twin depending on whether it abuts the neighboring house.

Square: a Civic Space type designed for unstructured recreation and Civic purposes, spatially defined by building Frontages and consisting of Paths, lawns and trees, formally disposed.

Story: a habitable level within a building, excluding an Attic or raised basement.







Town Architect/Design Review Board: A licensed Architect or designated committee, contracted by Nolte Farms, with the responsibility of reviewing development concepts, finished construction drawings or completed construction for aesthetic compliance with the overall concept of the Nolte Farms project.

Section 3.1

The Regulating Plan

LEGEND


FRONTAGE TYPES

F1	(Section 4.1) Type F1:	Main Street Commercial	
F2	(Section 4.2) Type F2:	Live/Work	
F3	(Section 4.3) Type F3:	Townhouse	
F4	(Section 4.4) Type F4:	Side Yard House	
F5	(Section 4.5) Type F5:	Mews House	
F6	(Section 4.6) Type F6:	Cottage House	


STREET TYPES

MS-78	Main Street 78' R.O.W.
BVD-VAR	Boulevard Variable R.O.W.
CS-60	Commercial Street 60' R.O.W.
CS-70	Commercial Street 70' R.O.W.
US-50	Urban Street 50' R.O.W.
US-50Y	Urban Yield Street 50' R.O.W.
US-45	Urban Street 45' R.O.W.
US-35	Urban Street 35' R.O.W.
SS-30	Side Street 30' R.O.W.
CA-20	Commercial Alley 20' Access Easement
AL-20	Residential Alley 20' Access Easement

CIVIC SITE

CG	Civic Building: General	
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PUBLIC OPEN SPACE

PL	Plaza	
SQ	Square	
GR	Green	
GB	Greenbelt	
P	Park	



HIGHWAY 123



Section 4.0

Summary of Frontage Types

HOW DOES A FRONTAGE TYPE CODE WORK?

The Nolte Farms Regulating Plan is a Frontage Type code; this means that land uses, height restrictions, parking requirements, etc. are defined by street frontage, rather than by zoning of a particular parcel. In most cases, a parcel will have only one frontage designation; however, unlike traditional zoning, the Frontage Type code prescribes the location of buildings in a way that forms a quality public realm between buildings.

Another unique element of this Frontage Type code is that density is limited primarily by parking requirements. There is no mandated mix of uses, nor compatibility restrictions; instead, frontage types have been assigned in a way that forms a cohesive neighborhood with market flexibility as the project is built out.

Each Frontage Type has a text description and a site plan diagram to help illustrate the intention. The summary Table 4.01, gives a snapshot of the six frontage types designated within the Nolte Farms Regulating Plan.



Section 4.0

Summary of Frontage Types

Complete detailed requirements of Frontage Types can be found in Sections 4.1 through 4.6

FRONTAGES	F1 (See Section F1) Main Street Commercial	F2 (See Section F2) Live/Work	F3 (See Section F3) Townhouse	F4 (See Section F4) Sideyard House	F5 (See Section F5) Mews House	F6 (See Section F6) Cottage
PERMITTED USES	Retail Sales and Service (20,000 SF max per tenant) Office/Research and Development Lodging/Hotel Multi-Family Residential Single Family Attached Residential Day Care	Limited Retail (≤3,000 SF) Limited Office (≤3,000 SF) Lodging/Hotel (≤10 rooms) Multi-Family Residential (≤10 dwelling units) Single Family Attached Residential	Single Family Attached Residential	Single Family Detached Residential Ancillary unit	Single Family Detached Residential Ancillary unit	Single Family Detached Residential Remote Parking
CONDITIONAL USES	Manufacturing (10,000 SF max. per tenant) Congregate Care (100 room max)	None	Home Occupation	Home Occupation	Home Occupation	None
PROHIBITED USES	Vehicle Sales Auto Service & Repair Auto Parts Sales Gas Stations Auto Body Painting and Repair Drive-Through Commercial Storage & Warehouse Single Family Detached Residential Sexually-Oriented Businesses	Same as F1 - Main Street	Same as F1 - Main Street Plus: Retail Office Manufacturing	Same as F1 - Main Street Plus: Retail Office Manufacturing	Same as F1 - Main Street Plus: Retail Office Manufacturing	Same as F1 - Main Street Plus: Retail Office Manufacturing
LOT WIDTH	30' min. 240' max (30' increments)	20' min. 40' max	20' min. 40' max	35' min. 60' max	40' min. 100' max	30' min. 35' max
LOT DEPTH	No Minimum Maximum limited by block size	No Minimum Maximum limited by block size	80' min. 125' max.	80' min. 150' max.	80' min. 200' max.	50' min. 70' max.
BUILDING HEIGHT	2 stories or 25' minimum 5 stories maximum	2 stories minimum 3 stories maximum	2 stories minimum 3 stories maximum	2 stories minimum 2.5 stories maximum	No Minimum 2.5 stories maximum	No Minimum 2 stories maximum
SIDE SETBACK	None	None	None	2.5' on one side & 10' on the opposite side	7.5'	5'
BUILD-TO LINE	10' from property line (on designated primary frontage)	10' from property line (on designated primary frontage)	10' from property line (on designated primary frontage)	20' from property line (on designated primary frontage)	25' from property line (on designated primary frontage)	10'
REAR SETBACK	None	None	5' from Alley	5' from Alley	5' from Alley	NA
PARKING RATIOS						
Retail	4 spaces per 1000 GSF	4 spaces per 1000 GSF	N/A	N/A	NA	NA
Office	4 spaces per 1000 GSF	4 spaces per 1000 GSF	N/A	N/A	NA	NA
Lodging/Hotel	1 space per Room	1 space per Room	N/A	N/A	NA	NA
Residential	1.5 spaces per Unit	1.5 spaces per Unit	2 spaces per Primary Unit plus 1 space per ancillary unit	2 spaces per Primary Unit plus 1 space per ancillary unit	2 spaces per Primary Unit plus 1 space per ancillary unit	1 spaces per unit plus 1 visitor for every units
Congregate Care	1.0 spaces per every 2 beds	NA	NA	NA	NA	NA
Manufacturing	1.0 spaces per 600 GSF	N/A	N/A	N/A	NA	NA

Table 4.01

Section 4.1

Frontage Type F1 : Main Street Commercial

4.1.1 DEVELOPMENT REGULATIONS

4.1.1.1 BUILDING PLACEMENT

A) Build-to Line:

A 10' setback from the front property line

- 1) Primary building facade shall be constructed along a minimum of 80% of the total length of the Build-to-Line.
- 2) If a forecourt is utilized it may occupy up to 50% of the frontage

B) Rear and side setbacks:

Not required

C) Encroachment:

Arcades and corner towers with occupied or unoccupied space may encroach beyond the Build-to Line to the Property Line. Arcades and corner towers shall encroach a maximum of 10'. No corner tower shall have more than 300 SF on the ground floor encroaching beyond the Build-to line.

D) Pedestrian Passageways:

If parking is provided behind a building, a pedestrian passageway must be provided at the ground level providing access to the parking area from the from the Right-of-Way. The passageway shall be a minimum 15' in width and one full floor in height. The passageway may be covered by additional occupied floors or a roof structure.

1. When pedestrian passageways are required, one must be provided for every 150' of frontage.

E) Covered sidewalks:

Covered sidewalks shall be constructed along a minimum of 80% of the primary building facade. Covered sidewalks may be provided as arcades or shop-fronts (fig.4.1A).

- 1) Covered sidewalks and associated structures may encroach beyond the build-to-line up to the property line. Occupiable space may be constructed above the covered sidewalk and may also encroach beyond the build-to-line up to the property line.
- 2) Building facades with a covered sidewalk may be constructed a maximum of 3' behind the build-to-line.
- 3) Arcades shall be constructed to provide a minimum of 8' clear walkway between vertical supports and building facade.
- 4) Shop-fronts (fig.4.1A) shall provide a minimum of 8' of continuous covered walkway width.
- 5) If the building does not occupy the entire frontage the sidewalk must still occupy 100% of the frontage.

F) 1st Floor Elevation:

The finish floor of the first level shall be at grade with street sidewalk or made accessible to disabled persons in compliance with the Americans With Disabilities Act and Texas Accessibility Standards.

G) Minimum and Maximum Wall Height:

The maximum building height shall be five stories. Buildings shall be a minimum of two stories or 25' in height at the primary building facade.

4.1.1.2 PARKING

A) On-site parking is allowed only at the rear of the building.

B) On-Street Parking in front of building may be used to satisfy minimum parking requirements (see Use Standards below)

C) Shared Parking Standards:

Shared parking standards may replace conventional parking requirements outlined in Use Standards below. Minimum parking requirements may be reduced by 15% percent if shared parking lots serve more than a single use (e.g. Restaurants and Office)

D) Parking supply may not exceed the minimum parking requirements outlined in the Use Standards by more than 15%.

E) Parking Garages

Structured parking may be provided for optimal land use efficiency. Parking structure shall meet architectural standards.

4.1.2 USE STANDARDS

4.1.2.1 RETAIL

A) Defined Retail Use:

Retail uses include commercial enterprises established for the sales of goods and services including shops, entertainment establishments, banking, restaurants, and hotel lobbies, eateries and day care facilities.

- 1) No single retail space shall exceed 20,000 SF per floor.
- 2) Retail uses shall provide parking at 4 spaces per 1,000 square feet.

4.1.2.2 OFFICE

A) Office Uses Defined:

Office uses are those associated with buildings occupied for the transaction of business, excluding retail and manufacturing.

- 1) Office uses shall provide parking at 4 spaces per 1,000 square feet (no maximum square footage)

4.1.2.3 LODGING

A) Lodging Uses Defined:

Lodging uses are those associated with buildings occupied for short-term (not to exceed three consecutive weeks) human habitation.

- 1) Lodging uses shall provide 1 parking space per lodging unit. (no maximum number of units)

4.1.2.4 RESIDENTIAL

A) Residential Uses Defined:

Residential uses are those associated with buildings occupied for the purpose of long term human habitation, excluding lodging.

- 1) Residential uses shall provide designated parking at 2 spaces per dwelling unit. (no maximum density)

4.1.2.5 CONDITIONAL USES

A) Conditional Uses Defined:

Conditional Uses are considered exceptional situations that must have the approval of the Design Review Board or Town Architect. The following may be acceptable conditional uses in areas designated F1:

1) Limited Manufacturing:

No single manufacturing occupied building space shall exceed 10,000 SF. All rear service yards and visible materials must be screened by a solid masonry wall at least 6 ft. tall. The parking requirement shall be negotiated according to the specific manufacturing activity. Screens shall match adjacent architecture.

2) Congregate Care:

Longterm residential facilities offering skilled nursing services are allowed, not to exceed 100 beds. Related single family attached residences for individuals utilizing services of the congregate care facility are allowed so long as they are owned and managed by the congregate care provider.

4.1.2.6 PROHIBITED USES

A) See prohibited use Table 4.01

4.1.3 ARCHITECTURAL STANDARDS

Architectural standards shall be enforced by the Nolte Farms Master Developer.

4.1.3.1 ARCHITECTURAL CHARACTER

All architectural design shall reflect the vernacular traditions of the South Central Texas region. The following architectural standards allow for a variety of interpretations, both contemporary and historicist.

A) Building massing and facades:

No single building facade type shall exceed 90' in length along the primary Build-to-Line; change in massing or materials shall constitute a change in facade type.

B) Exterior walls:

All exterior-building walls shall be finished in brick, native Texas stone, cast stone, stucco, cementitious board (Hardie), or wood. Exterior insulation finishing system (E.I.F.S.) may be used above the first story or a minimum of 12' above grade, whichever is higher. Galvanized or weathered metal paneling is permitted, but may be used on no more than 50% of exterior elevations.

C) Change in materials:

Shall occur along a horizontal line (with the heavier material at

the bottom), or at the joint along an inside corner. Facades shall include no more than three major materials.

D) Awnings and canopies:

Shall be made of sheet metal or canvas membrane. Plastic or vinyl awnings are not permitted. Trellises and sun shading devices are recommended and shall be made of wood or metal.

E) Signage: refer to signage standards (section 9.0)

F) Bicycle racks:

One bicycle rack shall be provided per 10,000 square feet of occupied building area. Bike racks may be ganged together block-by-block and located in the Passageway Easements.

G) Roofs:

1) Pitched roofs:

Pitched roofs may be clad in painted or galvanized metal, clay or concrete tile. No composition shingles are permitted. Pitched roofs shall be symmetrical gable, hip, or barrel vault with a pitch no less than 3/12. Porch and arcade roofs may be 2/12 min. Pitch. Mansard roofs are not permitted.

2) Flat roofs may be made of built-up roofing or a membrane roofing system.

3) Roof penetrations and rooftop mechanical systems shall be screened or setback from view at street level from either the front or side. Screening devices may be parapet extensions or free standing and shall be of material similar to the base building.

H) Glazing:

Glazed openings shall be at least 40 percent of the wall surface along a build-to line at the ground level and 25 percent on upper floors. Glazing shall not exceed 80 percent.

1) Framing shall be commercial grade painted wood, aluminum, or steel.

2) Glazing shall be clear; no reflective or spandrel glass is permitted.

3) Window openings shall be vertical or square in proportion.

Section 4.1

Frontage Type F1 : Main Street Commercial

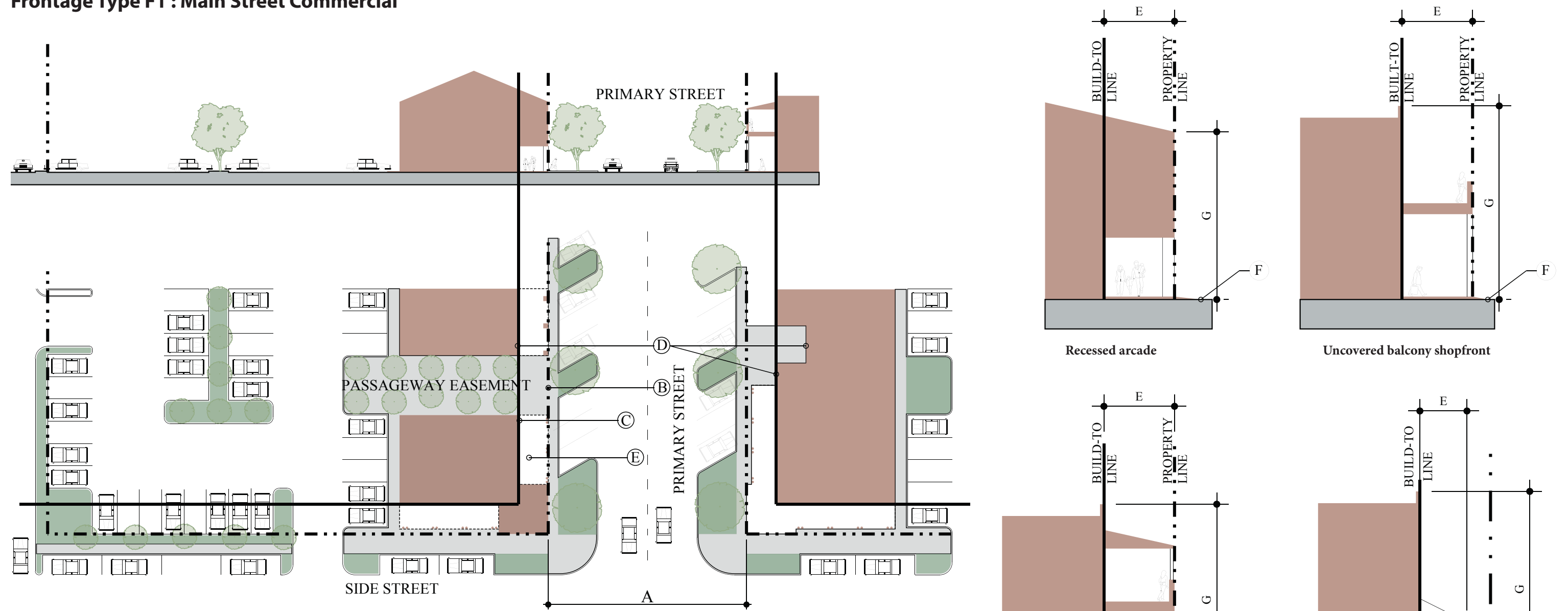


Figure 4.1 Frontage Type - Main Street Commercial

KEYED NOTES

Frontage Type F1: Main Street Commercial

- (A) Right of Way; see street types and standards
- (B) Property Line:
- (C) The Build-to-Line, 10' setback from the property line
- (D) Primary Building Facade; constructed along 80% of the length of the Build-to-Line
- (E) Covered Sidewalk; may encroach in the setback up to the property line
- (F) First floor elevation flush with sidewalk or fully accessible
- (G) Building height; 2 stories or 25' minimum; 5 stories maximum

Recessed arcade

Uncovered balcony shopfront

Covered balcony shopfront

Awning shopfront

Figure 4.1A
STREET FRONTAGE ARCHITECTURAL OPTIONS

Section 4.2

Frontage Type F2 : Live-Work

4.2.1 DEVELOPMENT REGULATIONS

4.2.1.1 BUILDING PLACEMENT

A) Build-to Line:

A 10' setback from the front property line

- 1) Primary building facade shall be constructed along a minimum of 80% of the total length of the Build-to-Line.

B) Rear and side setbacks:

Not required

D) Encroachment:

Corner towers, bay windows, or canopies with occupied or unoccupied space may encroach a maximum of 3' beyond the Build-to-Line. No corner tower shall have more than 300 SF on the ground floor encroaching beyond the Build-to-Line.

- 1) Stoops, porches or balconies may encroach a maximum of 8' beyond the Build-to-Line.
- 2) If a stoop is provided, it shall be a minimum of 30 square feet.
- 3) Stoops and/or porches shall be spaced no more than 60 linear feet along the Build-to-Line within a single parcel.

E) Pedestrian Passageways:

None required

F) Covered sidewalks:

Not required

J) 1st Floor Elevation:

The finish floor of the first level shall be at grade with street sidewalk or made accessible to disabled persons in compliance with the Americans With Disabilities Act and Texas accessibility standards.

K) Minimum and Maximum Wall Height:

The maximum building height shall be four stories. Buildings shall be a minimum of two stories at the primary building facade.

4.2.1.2 PARKING

A) On-site parking is allowed only at the rear of the building.

B) On-Street Parking in front of building may be used to satisfy minimum parking requirements (see Use Standards below)

C) Shared Parking Standards:

Shared parking standards may replace conventional parking requirements outlined in Use Standards below. Minimum parking requirements may be reduced by 15% percent if shared parking lots serve more than a single use (e.g. Restaurants and Office)

D) Parking supply may not exceed the minimum parking

requirements outlined in the Use Standards by more than 15%.

E) Parking Garages

Structured parking may be provided for optimal land use efficiency. Parking structure shall meet architectural standards.

4.2.2 USE STANDARDS

4.2.2.1 RETAIL (limited)

A) Defined Retail Use:

Retail uses include commercial enterprises established for the sales of goods and services including shops, entertainment establishments, banking, restaurants, and hotel lobbies and eateries.

- 1) Retail uses shall provide parking at 4 spaces per 1,000 square feet (maximum of 3,000 square feet)

4.2.2.2 OFFICE (limited)

A) Office Uses Defined:

Office uses are those associated with buildings occupied for the transaction of business, excluding retail and manufacturing.

- 1) Office uses shall provide parking at 4 spaces per 1,000 square feet (maximum of 3,000 square feet)

4.2.2.3 LODGING (limited)

A) Lodging Uses Defined:

Lodging uses are those associated with buildings occupied for short-term human habitation.

- 1) Lodging uses shall provide 1 parking space per lodging unit. (maximum of 10 units)

4.2.2.4 RESIDENTIAL

A) Residential Uses Defined:

Residential uses are those associated with buildings occupied for the purpose of long term human habitation, excluding lodging.

- 1) Residential uses shall provide designated parking at 2 spaces per dwelling unit. (no maximum density)
- 2) Parking for conditional uses and non-conventional unit sizes may be modified with approval of the Town Architect.

4.2.2.5 CONDITIONAL USES

A) Conditional Uses Defined:

Conditional Uses are considered exceptional situations that must have the approval of the Master Developer. The following may be acceptable conditional uses in areas designated F2:

- 1) Multifamily Residential:
Townhouse lots may be combined to create multifamily development parcels. Architectural massing shall remain consistent with that of surrounding uses, as determined by the Town Architect. Multifamily uses shall be allowed a maximum height of 4 stories and not exceed 20 dwelling units. A maximum of 25% of all combined F2 and F3 frontage may be used for Multifamily Residential.
- 2) Home occupation permitted

4.2.2.6 PROHIBITED USES

A) See prohibited use Table 4.01.

4.2.3 ARCHITECTURAL STANDARDS

Architectural standards shall be enforced by the Nolte Farms Master Developer.

4.1.3.1 ARCHITECTURAL CHARACTER

All architectural design shall reflect the vernacular traditions of the South Central Texas region. The following architectural standards allow for a variety of interpretations, both contemporary and historicist.

A) Building massing and facades:

No single building facade type shall exceed 90' in length along the primary Build-to-Line; change in massing or materials shall constitute a change in facade type.

B) Exterior walls:

All exterior-building walls shall be finished in brick, native Texas stone, cast stone, stucco, cementitious board (Hardie), or wood. Exterior insulation finishing system (E.I.F.S.) may be used above the first story or a minimum of 12' above grade, whichever is higher. Galvanized or weathered metal paneling is permitted, but may be used on no more than 50% of exterior elevations.

C) Change in materials:

Shall occur along a horizontal line (with the heavier material at the bottom), or at the joint along an inside corner. Facades shall include no more than three major materials.

D) Awnings and canopies:

Shall be made of sheet metal or canvas membrane. Plastic or vinyl awnings are not permitted. Trellises and sun shading devices are recommended and shall be made of wood or metal.

E) Signage: refer to signage standards (section 9.0)

F) Bicycle racks:

One bicycle rack shall be provided per 10,000 square feet of occupied building area. Bike racks may be ganged together block-by-block and located in the Passageway Easements.

G) Roofs:

1) Pitched roofs:

Pitched roofs may be clad in painted or galvanized metal, clay or concrete tile. No composition shingles are permitted. Pitched roofs shall be symmetrical gable, hip, or barrel vault with a pitch no less than 3/12. Porch and arcade roofs may be 2/12 min. Pitch. Mansard roofs are not permitted.

2) Flat roofs may be made of built-up roofing or a membrane roofing system.

3) Roof penetrations and rooftop mechanical systems shall be screened or setback from view at street level from either the

front or side. Screening devices may be parapet extensions or free standing and shall be of material similar to the base building.

H) Glazing:

Glazed openings shall be at least 40 percent of the wall surface along a build-to line at the ground level and 25 percent on upper floors. Glazing shall not exceed 80 percent.

1) Framing shall be commercial grade painted wood, aluminum, or steel.

2) Glazing shall be clear; no reflective or spandrel glass is permitted.

3) Window openings shall be vertical or square in proportion.

Section 4.2

Frontage Type F2 : Live-Work

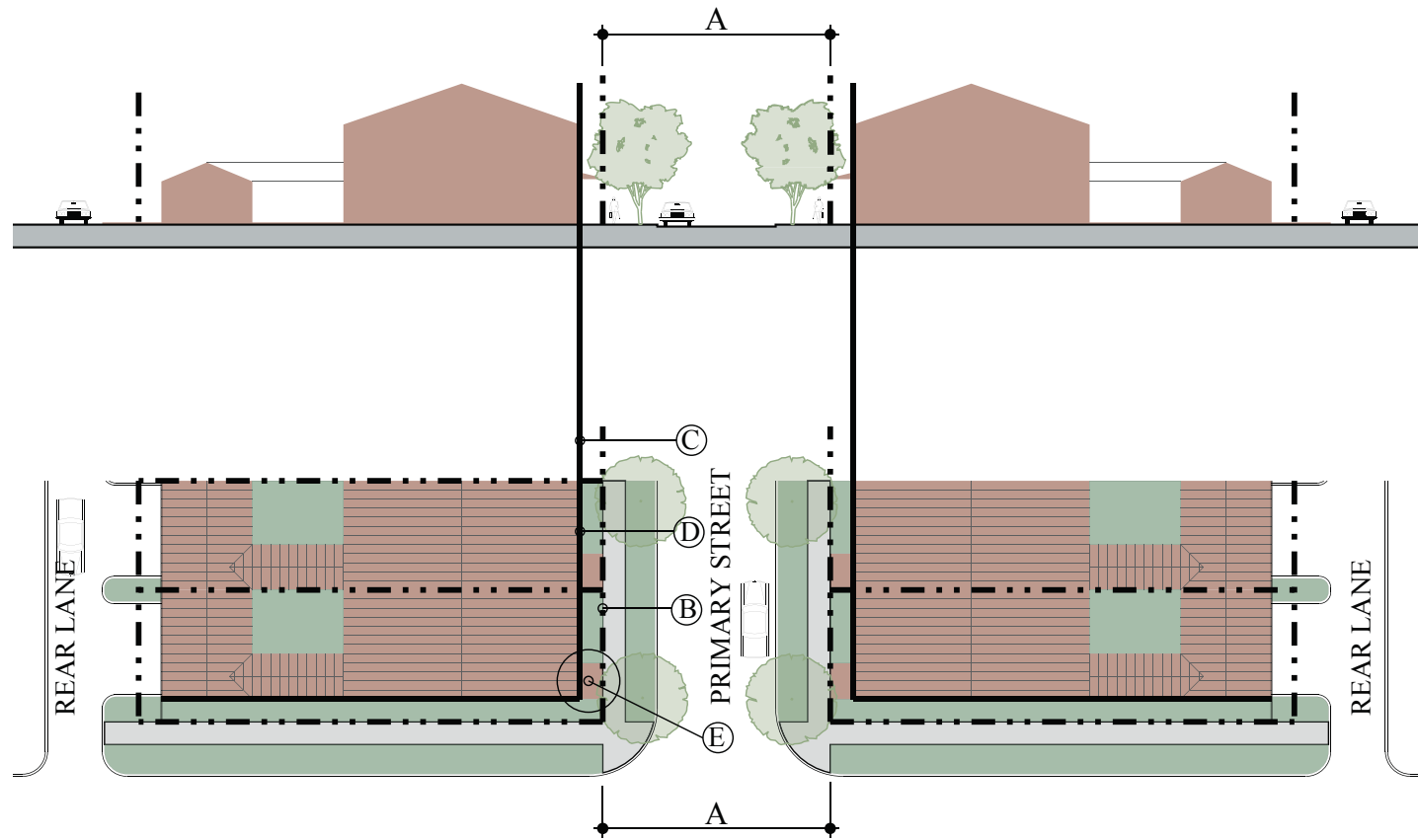


Figure 4.2: Frontage Type - Livework

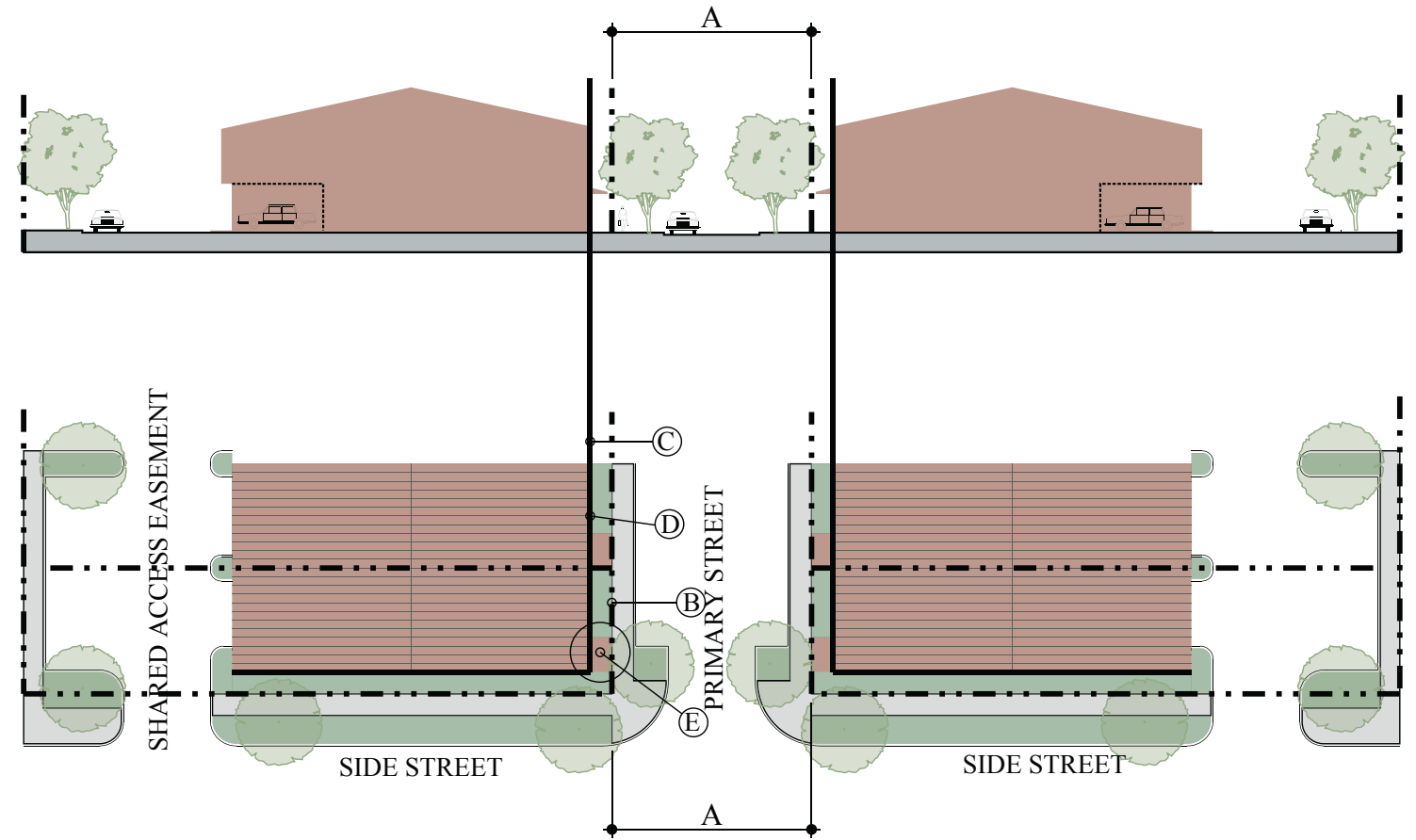


Figure 4.2a
TYPE F4 with TUCK-UNDER GARAGE

KEYED NOTES

Frontage Type F2: Livework

- (A) Right of Way; see street types and standards
- (B) Property Line:
- (C) The Build-to-Line, 10' setback from the property line
- (D) Primary Building Facade; constructed along 80% of the length of the Build-to-Line
- (E) Porch/Stoop Encroachment
- (F) First floor elevation min. 24" above sidewalk
- (G) Building height; 2 stories or 25' minimum; 3 stories maximum

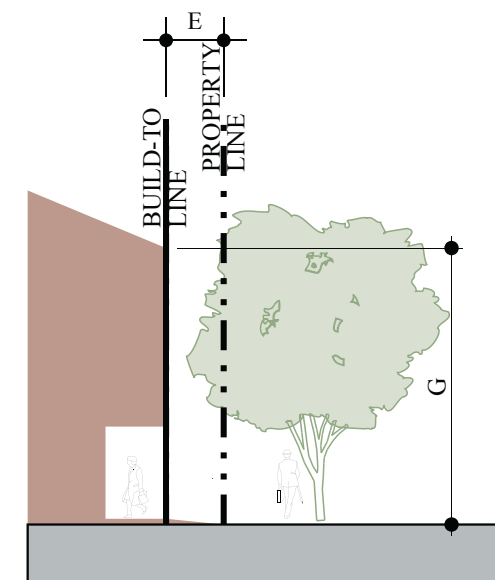


Figure 4.2b
TYPE F4 with RECESSED STOOP

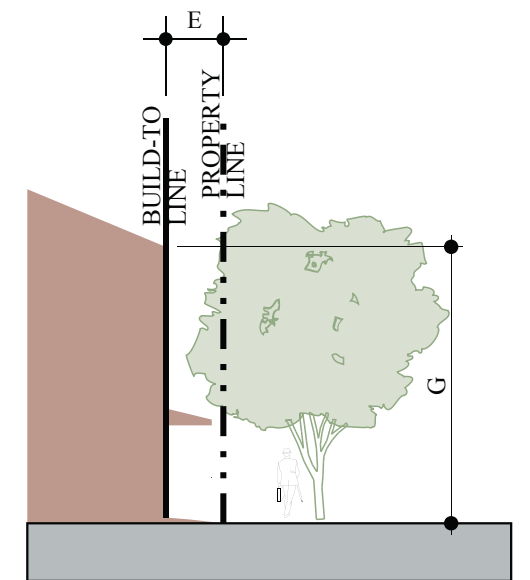


Figure 4.2c
TYPE F4 with PROJECTING STOOP

Section 4.3

Frontage Type F3 : Townhouse

4.3.1 DEVELOPMENT REGULATIONS

4.3.1.1 BUILDING PLACEMENT

A) Build-to Line:

A 10' setback from the front property line

- 1) Primary building facade shall be constructed along a minimum of 80% of the total length of the Build-to-Line.

B) Rear and side setbacks:

- 1) 5' rear setback
- 2) 5' street sideyard setback where the lot occupies the end of a block.

C) Encroachment:

Corner towers, bay windows, or canopies with occupied or unoccupied space may encroach a maximum of 3' beyond the Build-to-Line. No corner tower shall have more than 300 SF on the ground floor encroaching beyond the Build-to-Line.

- 1) Stoops, porches or balconies may encroach a maximum of 8' beyond the Build-to-Line.
- 2) If a stoop is provided, it shall be a minimum of 30 square feet.
- 3) Stoops and/or porches shall be spaced no more than 60 linear feet along the Build-to-Line within a single parcel.

D) Pedestrian Passageways:

None required

E) Covered sidewalks:

Not required

F) 1st Floor Elevation:

The finish floor of the first level shall be a minimum of 24 inches above the sidewalk.

G) Minimum and Maximum Wall Height:

The maximum building height shall be three stories. Buildings shall be a minimum of two stories at the primary building facade.

4.3.1.2 PARKING

A) On-site parking is allowed only at the rear of the building.

B) Shared Parking Standards:

Shared parking standards may NOT replace minimum parking standards in areas designated F3.

C) Parking supply may not exceed the minimum parking requirements outlined in the Use Standards by more than 15%.

4.3.2 USE STANDARDS

4.3.2.4 RESIDENTIAL

A) Residential Uses Defined:

Residential uses are those associated with buildings occupied for the purpose of long term human habitation, excluding lodging.

- 1) Residential uses shall provide designated parking at 2 spaces per dwelling unit. (no maximum density)
- 2) Parking for conditional uses and non-conventional unit sizes may be modified with approval of the Town Architect.

4.3.2.5 CONDITIONAL USES

A) Conditional Uses Defined:

Conditional Uses are considered exceptional situations that must have the approval of the Town Architect or district Design Review Board. The following may be acceptable conditional uses in areas designated F3:

- 1) Multifamily Residential:
Townhouse lots may be combined to create multifamily development parcels. Architectural massing shall remain consistent with that of surrounding uses, as determined by the Town Architect. Multifamily uses shall be allowed a maximum height of 4 stories and not exceed 20 dwelling units. A maximum of 25% of all combined F2 and F3 frontage may be used for Multifamily Residential.
- 2) Home occupation permitted

4.3.2.6 PROHIBITED USES

A) See prohibited use Table 4.01.

4.3.3 ARCHITECTURAL STANDARDS

Architectural standards shall be enforced by the Nolte Farms Master Developer.

4.3.3.1 ARCHITECTURAL CHARACTER

All architectural design shall reflect the vernacular traditions of the Central Texas region. The following architectural standards allow for a variety of interpretations, both contemporary and historicist.

A) Building massing and facades

No single building facade type shall exceed 30' in length along the primary Build-to-Line; change in massing or materials shall constitute a change in facade type.

B) Exterior walls:

All exterior-building walls shall be finished in brick, native Texas stone, cast stone, stucco, cementitious board (Hardie), or wood. Exterior insulation finishing system (E.I.F.S.) may not be used. Galvanized or weathered metal paneling is permitted, but may be used on no more than 50% of exterior elevations.

C) Change in materials:

Shall occur along a horizontal line (with the heavier material at the bottom), or at the joint along an inside corner. Facades shall include no more than three major materials.

D) Awnings and canopies:

Shall be made of sheet metal or canvas membrane. Plastic, fabric or vinyl awnings are not permitted. Trellises and sun shading devices are recommended and shall be made of wood or metal.

E) Roofs

1) Pitched roofs:

Pitched roofs may be clad in painted or galvanized metal, clay or concrete tile. No composition shingles are permitted. Pitched roofs shall be symmetrical gable, hip, or barrel vault with a pitch no less than 3/12. Porch and arcade roofs may be 2/12 min. Pitch. Mansard roofs are not permitted.

2) Flat roofs may be made of built-up roofing or a membrane roofing system.

3) Roof penetrations and rooftop mechanical systems shall be screened or setback from view at street level.

Section 4.3

Frontage Type F3 : Townhouse

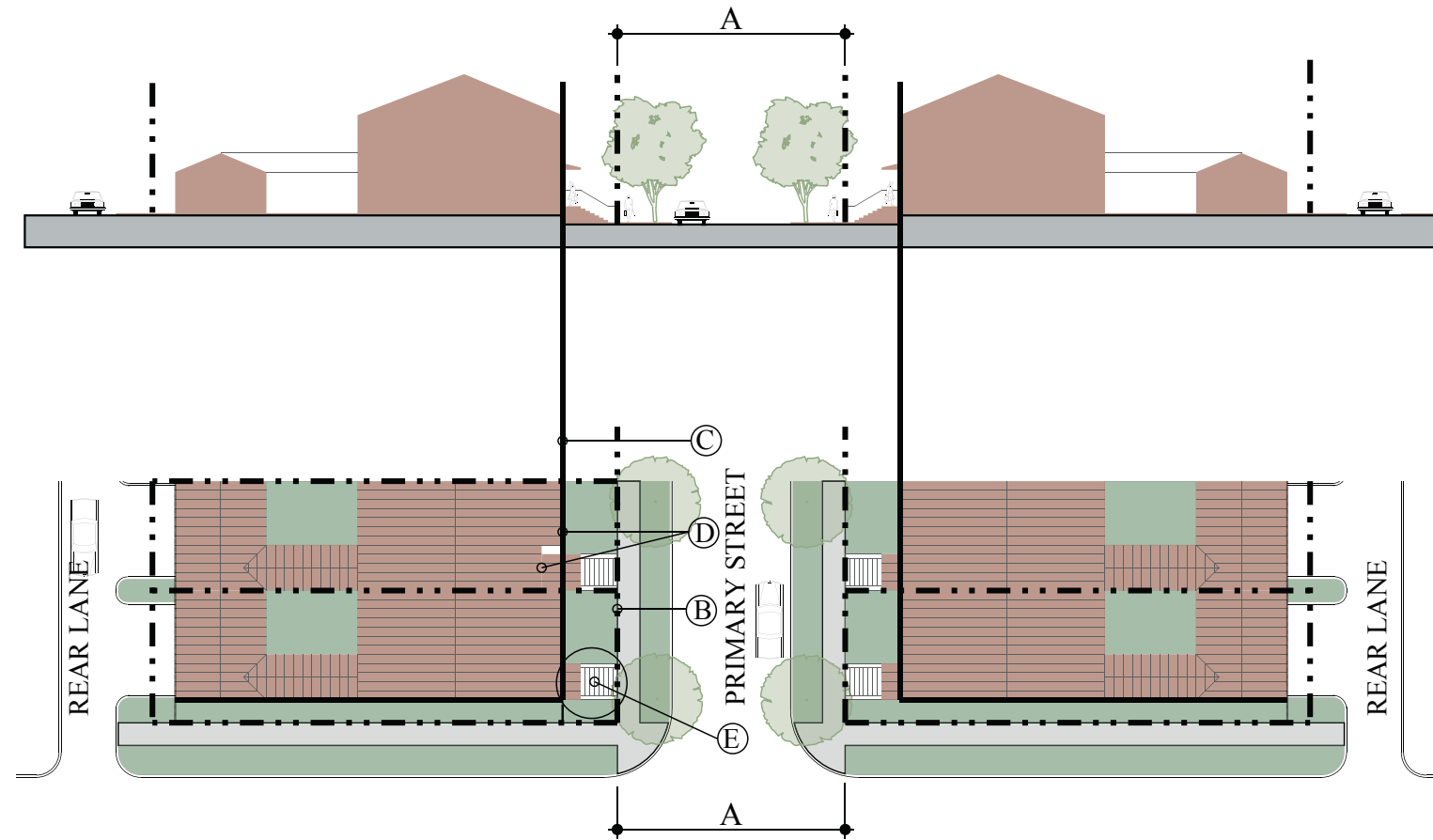


Figure 4.3: Frontage Type - Townhouse

KEYED NOTES

Frontage Type F3: Townhouse

- (A) Right of Way; see street types and standards
- (B) Property Line:
- (C) The Build-to-Line, 10' setback from the property line; 5' rear and 5' side setback only where lot is at end of a block
- (D) Primary Building Facade; constructed along 80% of the length of the Build-to-Line
- (E) Porch/Stoop Encroachment
- (F) First floor elevation min. 24" above sidewalk
- (G) Building height; 2 stories or 25' minimum; 3 stories maximum

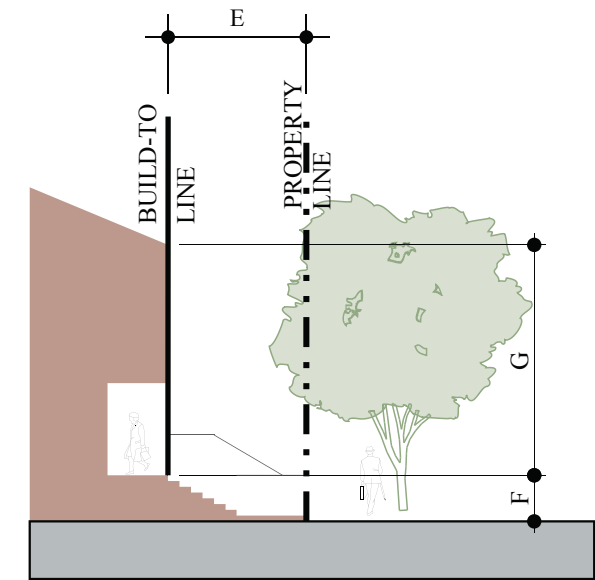


Figure 4.3a
TYPE F3 with RECESSED STOOP

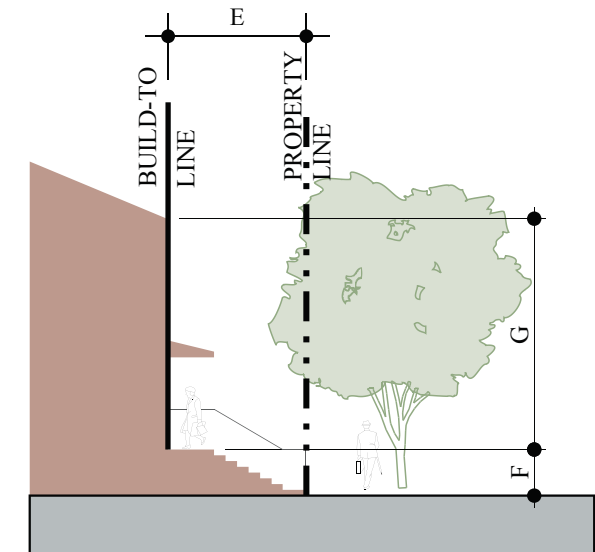


Figure 4.3b
TYPE F3 with PROJECTING STOOP

Section 4.4

Frontage Type F4 : Sideyard House

4.4.1 DEVELOPMENT REGULATIONS

4.4.1.1 BUILDING PLACEMENT

A) Build-to Line:

A 20' setback from the front property line

- 1) Primary building facade shall be constructed along a minimum of 50% of the total length of the Build-to-Line.

B) Rear and side setbacks:

- 1) 5' rear setback
- 2) 2.5' side setback on one side; 10' side setback on opposite side.
- 3) 10' street sideyard setback where the lot occupies the end of a block.

D) Encroachment:

Corner towers, bay windows, or canopies with occupied or unoccupied space may encroach a maximum of 3' beyond the Build-to-Line. No corner tower shall have more than 300 SF on the ground floor encroaching beyond the Build-to-Line.

- 1) Stoops, porches or balconies may encroach a maximum of 10' beyond the Build-to-Line.
- 2) If a stoop is provided, it shall be a minimum of 30 square feet.
- 3) If a porch is provided, it shall be a minimum of 8' deep.

E) Pedestrian Passageways:

None required

F) Covered sidewalks:

Not required

J) 1st Floor Elevation:

The finish floor of the first level shall be a minimum of 24 inches above the sidewalk.

K) Minimum and Maximum Wall Height:

The maximum building height shall be two and one-half stories. Buildings shall be a minimum of two stories at the primary building facade.

4.4.1.2 PARKING

A) On-site parking is allowed only at the rear of the building.

B) On-Street Parking in front of building may be used to supplement minimum parking requirements (see Use Standards below)

C) Shared Parking Standards:

Shared parking standards may NOT replace minimum parking standards in areas designated F4.

D) Parking supply may not exceed the minimum parking

requirements outlined in the Use Standards by more than 15%.

4.4.2 USE STANDARDS

4.4.2.4 RESIDENTIAL

A) Residential Uses Defined:

Residential uses are those associated with buildings occupied for the purpose of long term human habitation, excluding lodging.

- 1) Residential uses shall provide designated parking at 2 spaces per dwelling unit. (no maximum density)
- 2) Parking for conditional uses and non-conventional unit sizes may be modified with approval of the Town Architect.

4.4.2.5 CONDITIONAL USES

A) Conditional Uses Defined:

Conditional Uses are considered exceptional situations that must have the approval of the Town Architect. The following may be acceptable conditional uses in areas designated F3:

- 1) Multifamily Residential is not permitted
- 2) Home occupation permitted
- 3) Ancillary units permitted

4.4.2.6 PROHIBITED USES

A) See prohibited use Table 4.01.

4.4.3 ARCHITECTURAL STANDARDS

Architectural standards shall be enforced by the Nolte Farms Master Developer.

4.4.3.1 ARCHITECTURAL CHARACTER

All architectural design shall reflect the vernacular traditions of the Central Texas region. The following architectural standards allow for a variety of interpretations, both contemporary and historicist.

A) Building massing and facades

No single building facade type shall exceed 30' in length along the primary Build-to-Line; change in massing or materials shall constitute a change in facade type.

B) Exterior walls:

All exterior-building walls shall be finished in brick, native Texas stone, cast stone, stucco, cementitious board (Hardie), or wood. Exterior insulation finishing system (E.I.F.S.) may not be used. Galvanized or weathered metal paneling is permitted, but may be used on no more than 50% of exterior elevations.

C) Change in materials:

Shall occur along a horizontal line (with the heavier material at the bottom), or at the joint along an inside corner. Facades shall include no more than three major materials.

D) Awnings and canopies:

Shall be made of sheet metal or canvas membrane. Plastic, fabric

or vinyl awnings are not permitted. Trellises and sun shading devices are recommended and shall be made of wood or metal.

G) Roofs

1) Pitched roofs:

Pitched roofs may be clad in painted or galvanized metal, clay or concrete tile. No composition shingles are permitted. Pitched roofs shall be symmetrical gable, hip, or barrel vault with a pitch no less than 3/12. Porch and arcade roofs may be 2/12 min. Pitch. Mansard roofs are not permitted.

2) Flat roofs may be made of built-up roofing or a membrane roofing system.

3) Roof penetrations and rooftop mechanical systems shall be screened or setback from view at street level.

Section 4.4

Frontage Type F4 : Sideyard House

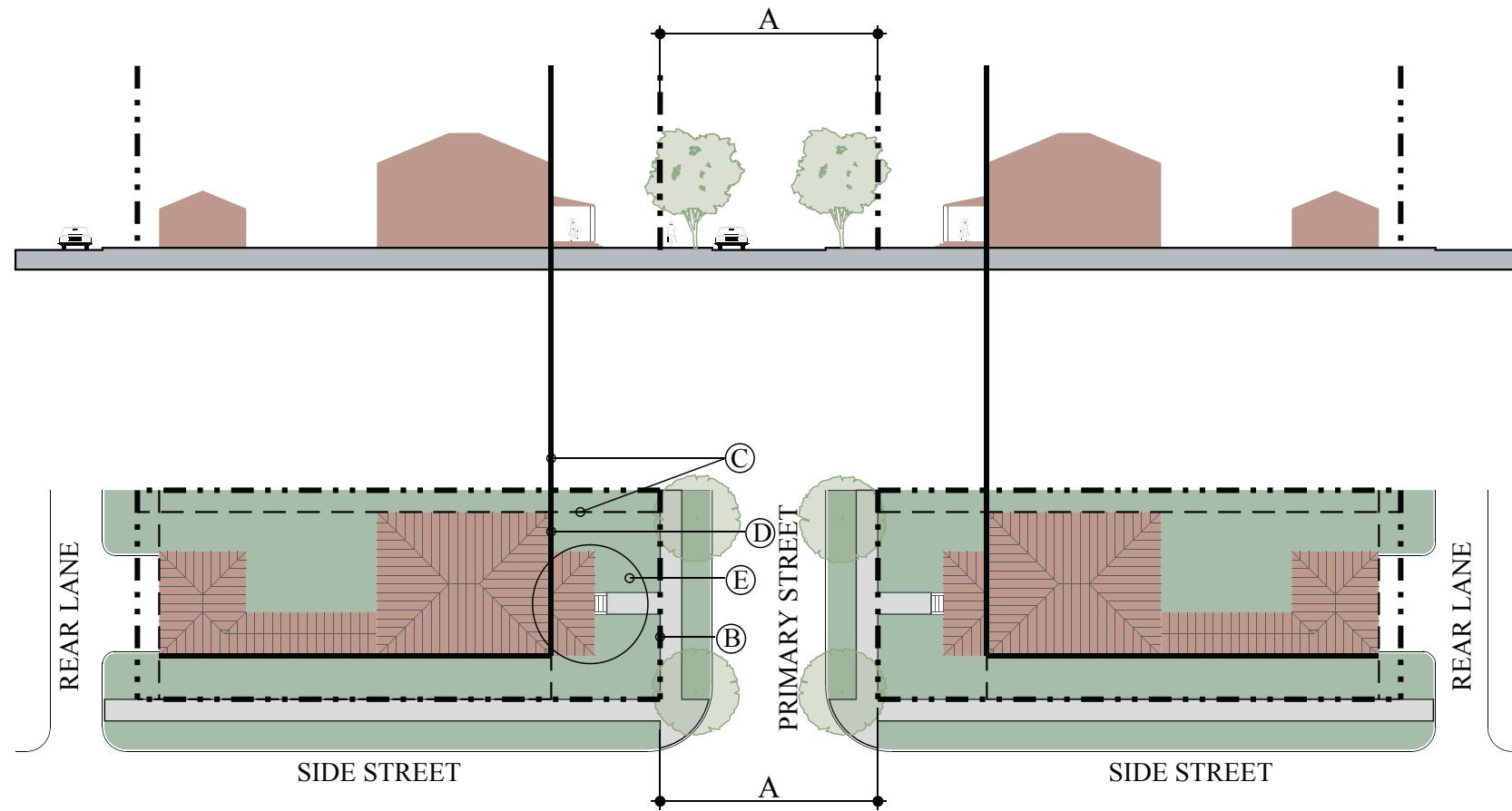


Figure 4.4: Frontage Type - Sideyard

KEYED NOTES

Frontage Type F4: Sideyard

- (A) Right of Way; see street types and standards
- (B) Property Line:
- (C) The Build-to-Line, 20' setback from the front property line, 5' rear and side setback 2.5' side setback on one side; 10' side setback on opposite side
- (D) Primary Building Facade; constructed along 80% of the length of the Build-to-Line
- (E) Porch/Stoop Encroachment
- (F) First floor elevation min. 24" above sidewalk
- (G) Building height; 2 stories or 25' minimum; 2.5 stories maximum

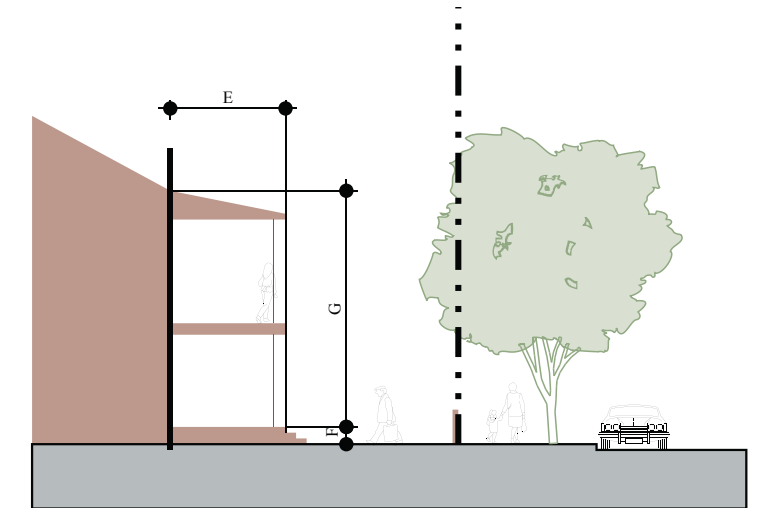


Figure 4.4a
TYPE F5 with COLONNADE

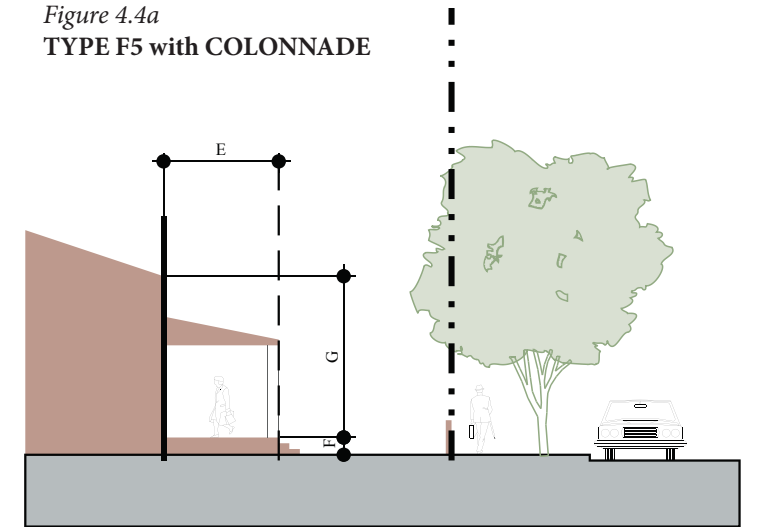


Figure 4.4b
TYPE F5 with ONE STORY PORCH

Section 4.5

Frontage Type F5 : Mews House

4.4.1 DEVELOPMENT REGULATIONS

4.4.1.1 BUILDING PLACEMENT

A) Build-to Line:

A 20' setback from the front property line

- 1) Primary building facade shall be constructed along a minimum of 50% of the total length of the Build-to-Line.

B) Rear and side setbacks:

- 1) 5' rear setback
- 2) 5' side setback
- 3) 10' street side yard setback at the end of a block

D) Encroachment:

Corner towers, bay windows, or canopies with occupied or unoccupied space may encroach a maximum of 3' beyond the Build-to-Line. No corner tower shall have more than 300 SF on the ground floor encroaching beyond the Build-to-Line.

- 1) Stoops, porches or balconies may encroach a maximum of 10' beyond the Build-to-Line.
- 2) If a stoop is provided, it shall be a minimum of 30 square feet.
- 3) If a porch is provided, it shall be a minimum of 8' deep.

E) Pedestrian Passageways:

None required

F) Covered sidewalks:

Not required

J) 1st Floor Elevation:

The finish floor of the first level shall be a minimum of 24 inches above the sidewalk.

K) Minimum and Maximum Wall Height:

The maximum building height shall be two and one-half stories. Buildings shall be a minimum of two stories at the primary building facade.

4.4.1.2 PARKING

A) On-site parking is allowed only at the rear of the building.

B) On-Street Parking in front of building may be used to satisfy minimum parking requirements (see Use Standards below)

C) Shared Parking Standards:

Shared parking standards may NOT replace minimum parking standards in areas designated F5.

D) Parking supply may not exceed the minimum parking requirements outlined in the Use Standards by more than 15%.

4.4.2 USE STANDARDS

4.4.2.4 RESIDENTIAL

A) Residential Uses Defined:

Residential uses are those associated with buildings occupied for the purpose of long term human habitation, excluding lodging.

- 1) Residential uses shall provide designated parking at 2 spaces per dwelling unit. (no maximum density)
- 2) Parking for conditional uses and non-conventional unit sizes may be modified with approval of the Town Architect.

4.4.2.5 CONDITIONAL USES

A) Conditional Uses Defined:

Conditional Uses are considered exceptional situations that must have the approval of the Town Architect. The following may be acceptable conditional uses in areas designated F5:

- 1) Multifamily Residential is not permitted
- 2) Home occupation permitted
- 3) Ancillary units permitted

4.4.2.6 PROHIBITED USES

A) See prohibited use Table 4.01.

4.4.3 ARCHITECTURAL STANDARDS

Architectural standards shall be enforced by the Nolte Farms Master Developer.

4.4.3.1 ARCHITECTURAL CHARACTER

All architectural design shall reflect the vernacular traditions of the Central Texas region. The following architectural standards allow for a variety of interpretations, both contemporary and historicist.

A) Building massing and facades

No single building facade type shall exceed 30' in length along the primary Build-to-Line; change in massing or materials shall constitute a change in facade type.

B) Exterior walls:

All exterior-building walls shall be finished in brick, native Texas stone, cast stone, stucco, cementitious board (Hardie), or wood. Exterior insulation finishing system (E.I.F.S.) may not be used. Galvanized or weathered metal paneling is permitted, but may be used on no more than 50% of exterior elevations.

C) Change in materials:

Shall occur along a horizontal line (with the heavier material at the bottom), or at the joint along an inside corner. Facades shall include no more than three major materials.

D) Awnings and canopies:

Shall be made of sheet metal or canvas membrane. Plastic, fabric or vinyl awnings are not permitted. Trellises and sun shading

devices are recommended and shall be made of wood or metal.

G) Roofs

1) Pitched roofs:

Pitched roofs may be clad in painted or galvanized metal, clay or concrete tile. No composition shingles are permitted. Pitched roofs shall be symmetrical gable, hip, or barrel vault with a pitch no less than 3/12. Porch and arcade roofs may be 2/12 min. Pitch. Mansard roofs are not permitted.

2) Flat roofs may be made of built-up roofing or a membrane roofing system.

3) Roof penetrations and rooftop mechanical systems shall be screened or setback from view at street level.

Section 4.5

Frontage Type F5 : Mews House

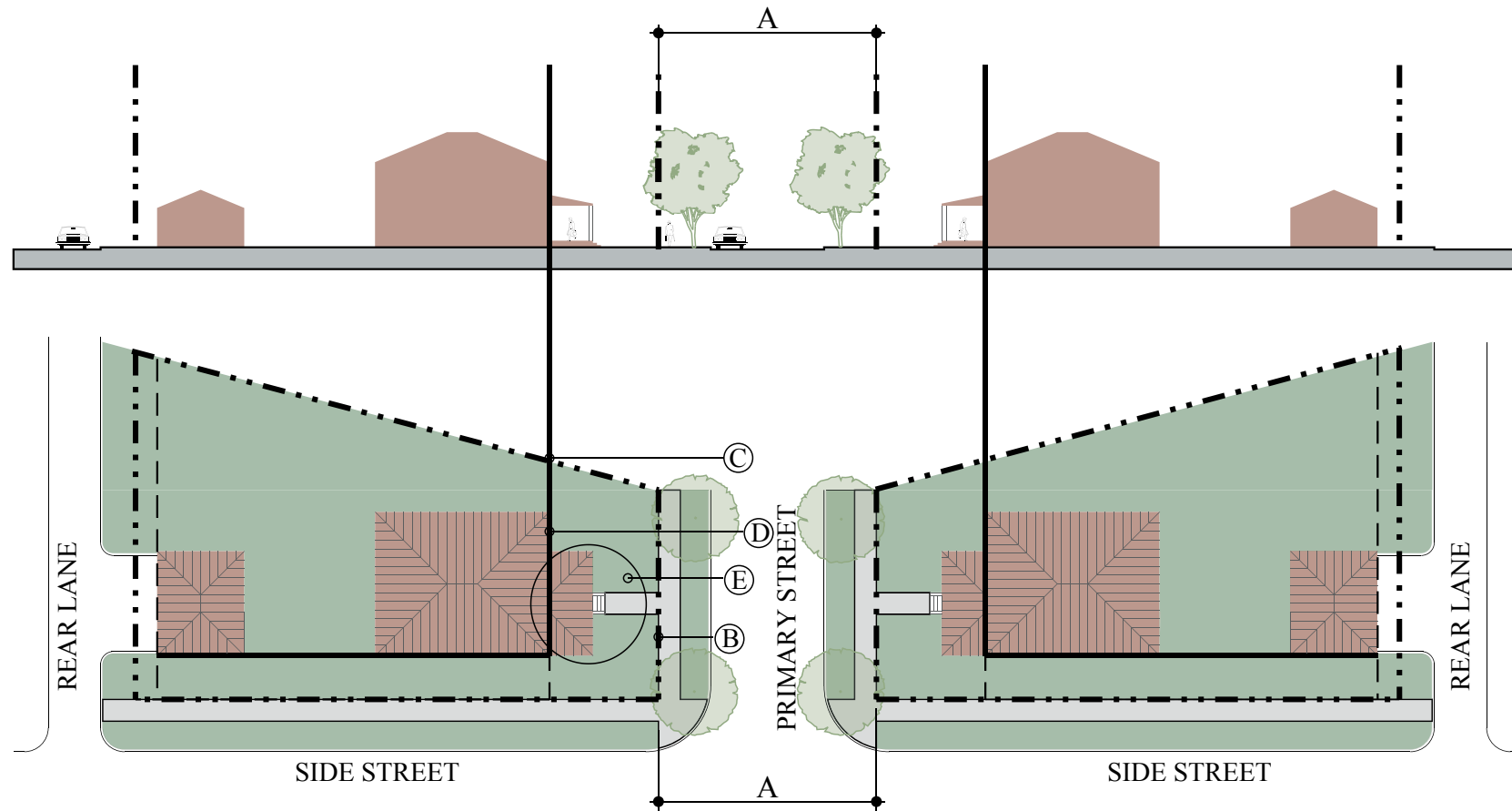


Figure 4.5: Frontage Type - Mews

KEYED NOTES

Frontage Type F5: Mews

- (A) Right of Way; see street types and standards
- (B) Property Line:
- (C) The Build-to-Line, 20' setback from the property line, 5' rear and side setback
- (D) Primary Building Facade; constructed along 50% of the length of the Build-to-Line
- (E) Porch/Stoop Encroachment
- (F) First floor elevation min. 24" above sidewalk
- (G) Building height; 2 stories or 25' minimum; 2.5 stories maximum

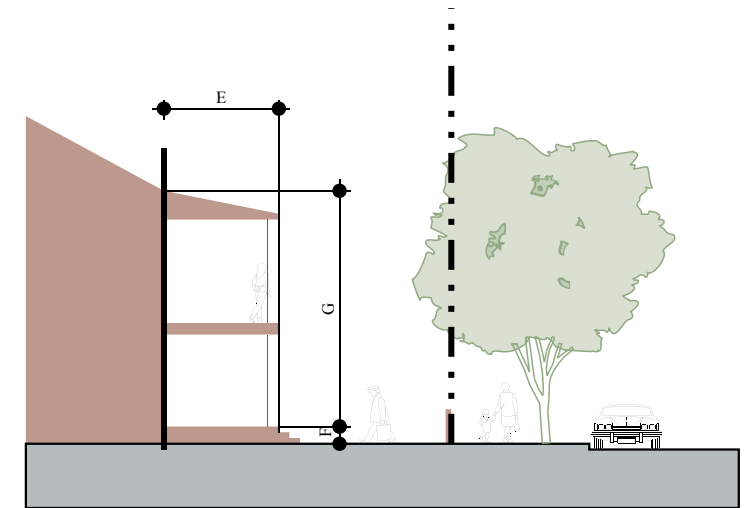


Figure 4.5a
TYPE F5 with COLONNADE

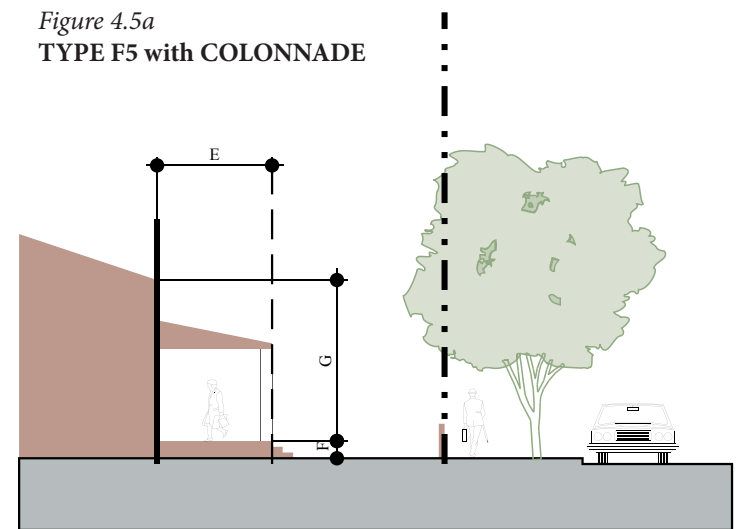


Figure 4.5b
TYPE F5 with ONE STORY PORCH

Section 4.6

Frontage Type F6 : Cottage House

4.4.1 DEVELOPMENT REGULATIONS

4.4.1.1 BUILDING PLACEMENT

A) Build-to Line:

A 10' setback from the front property line

- 1) Primary building facade shall be constructed along a minimum of 50% of the total length of the Build-to-Line.

B) Rear and side setbacks:

- 1) 5' rear setback
- 2) 5' side setback

D) Encroachment:

Corner towers, bay windows, or canopies with occupied or unoccupied space may encroach a maximum of 3' beyond the Build-to-Line. No corner tower shall have more than 300 SF on the ground floor encroaching beyond the Build-to-Line.

- 1) Stoops, porches or balconies may encroach a maximum of 10' beyond the Build-to-Line.
- 2) If a stoop is provided, it shall be a minimum of 30 square feet.
- 3) If a porch is provided, it shall be a minimum of 8' deep.

E) Pedestrian Passageways:

None required

F) Covered sidewalks:

Not required

J) 1st Floor Elevation:

The finish floor of the first level shall be a minimum of 24 inches above the sidewalk.

K) Minimum and Maximum Wall Height:

The maximum building height shall be one and one-half stories.

4.4.1.2 PARKING

A) On-site parking is allowed only in common garages.

B) On-Street Parking in front of building may not be used to satisfy minimum parking requirements (see Use Standards below)

C) Shared Parking Standards:

Shared parking standards may NOT replace minimum parking standards in areas designated F6.

D) Parking supply may not exceed the minimum parking requirements outlined in the Use Standards by more than 15%.

4.4.2 USE STANDARDS

4.4.2.4 RESIDENTIAL

A) Residential Uses Defined:

Residential uses are those associated with buildings occupied for the purpose of long term human habitation, excluding lodging.

- 1) Residential uses shall provide designated parking at one space per dwelling unit. (no maximum density) One additional visitor space per unit shall be provided on the street.
- 2) Parking for conditional uses and non-conventional unit sizes may be modified with approval of the Town Architect.

4.4.2.5 CONDITIONAL USES

A) Conditional Uses Defined:

Conditional Uses are considered exceptional situations that must have the approval of the Town Architect. The following may be acceptable conditional uses in areas designated F6:

- 1) Multifamily Residential is not permitted
- 2) Home occupation permitted
- 3) Ancillary units are not permitted

4.4.2.6 PROHIBITED USES

A) See prohibited use Table 4.01.

4.4.3 ARCHITECTURAL STANDARDS

Architectural standards shall be enforced by the Nolte Farms Master Developer.

4.4.3.1 ARCHITECTURAL CHARACTER

All architectural design shall reflect the vernacular traditions of the Central Texas region. The following architectural standards allow for a variety of interpretations, both contemporary and historicist.

A) Building massing and facades

No single building facade type shall exceed 30' in length along the primary Build-to-Line; change in massing or materials shall constitute a change in facade type.

B) Exterior walls:

All exterior-building walls shall be finished in brick, native Texas stone, cast stone, stucco, cementitious board (Hardie), or wood. Exterior insulation finishing system (E.I.F.S.) may not be used. Galvanized or weathered metal paneling is permitted, but may be used on no more than 50% of exterior elevations.

C) Change in materials:

Shall occur along a horizontal line (with the heavier material at the bottom), or at the joint along an inside corner. Facades shall include no more than three major materials.

D) Awnings and canopies:

Shall be made of sheet metal or canvas membrane. Plastic, fabric or vinyl awnings are not permitted. Trellises and sun shading devices are recommended and shall be made of wood or metal.

G) Roofs

1) Pitched roofs:

Pitched roofs may be clad in painted or galvanized metal, clay or concrete tile. No composition shingles are permitted. Pitched roofs shall be symmetrical gable, hip, or barrel vault with a pitch no less than 3/12. Porch and arcade roofs may be 2/12 min. Pitch. Mansard roofs are not permitted.

2) Flat roofs may be made of built-up roofing or a membrane roofing system.

3) Roof penetrations and rooftop mechanical systems shall be screened or setback from view at street level.

Section 4.6

Frontage Type F6 : Cottage House

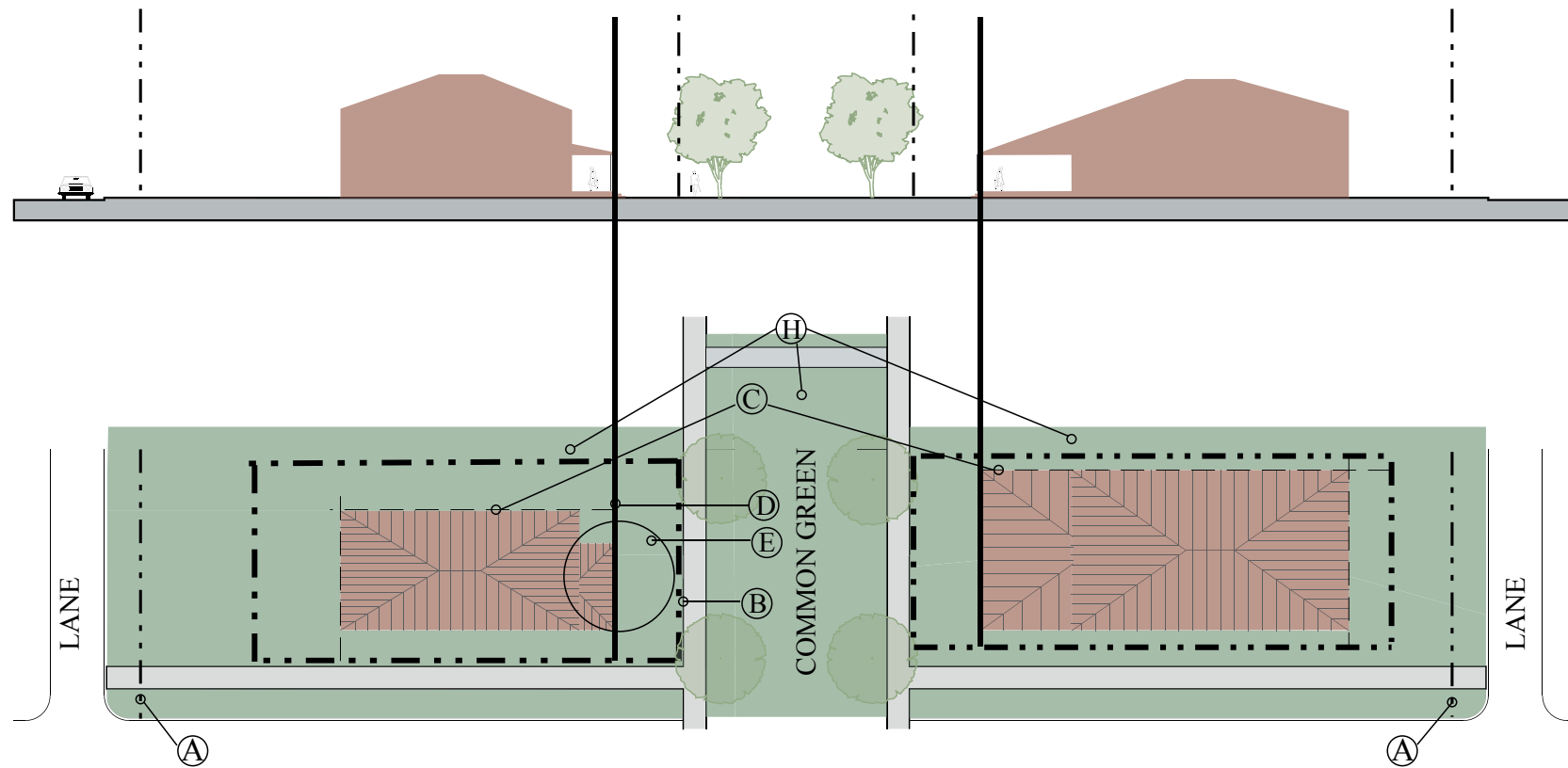


Figure 4.6: Frontage Type - Cottage

KEYED NOTES

Frontage Type F6: Cottage

- (A) Right of Way; see street types and standards
- (B) Property Line:
- (C) The Build-to-Line, 10' setback from the property line, 5' rear and side setback
- (D) Primary Building Facade; constructed along 60% of the length of the Build-to-Line
- (E) Porch/Stoop Encroachment
- (F) First floor elevation min. 24" above sidewalk
- (G) Building height; 1 stories or 15' minimum; 1.5 stories maximum
- (H) Common area developed and maintained by condo association

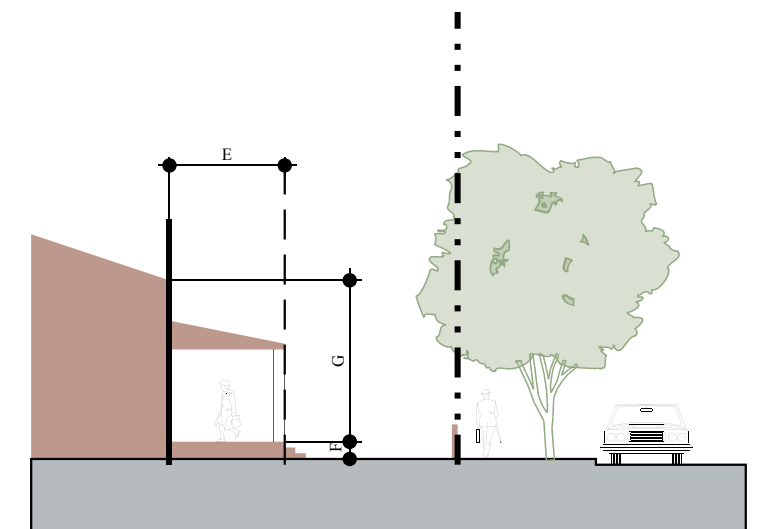


Figure 4.6a
TYPE F6 with ONE STORY PORCH

Section 5.0

Street Types

HOW DO STREET TYPES AFFECT DEVELOPMENT?

The frontage types outlined in the previous section of these standards are paired with street types to define the general character and quality of public space within the plan. The Regulating Plan defines locations for each street type and frontage type. The remainder of the Development Standards fills in the gaps, specifying landscape and drainage requirements, utility locations, open space programming, etc.

SEQUENCING

All streets within the Nolte Farms PUD shall be built in complete block lengths. A block is defined as a section of street from the intersection of one perpendicular street to the next. If the street-type has a parallel alley, the alley and access to it must be built at the same time as the street.

The following street types are detailed in this section:

MS-78: Main Street 78' R.O.W.

BVD-VAR: Boulevard Variable R.O.W.

CS-70: Commercial Street 70' R.O.W.

US-50: Urban Street 50' R.O.W.

US-45: Urban Street 45' R.O.W.

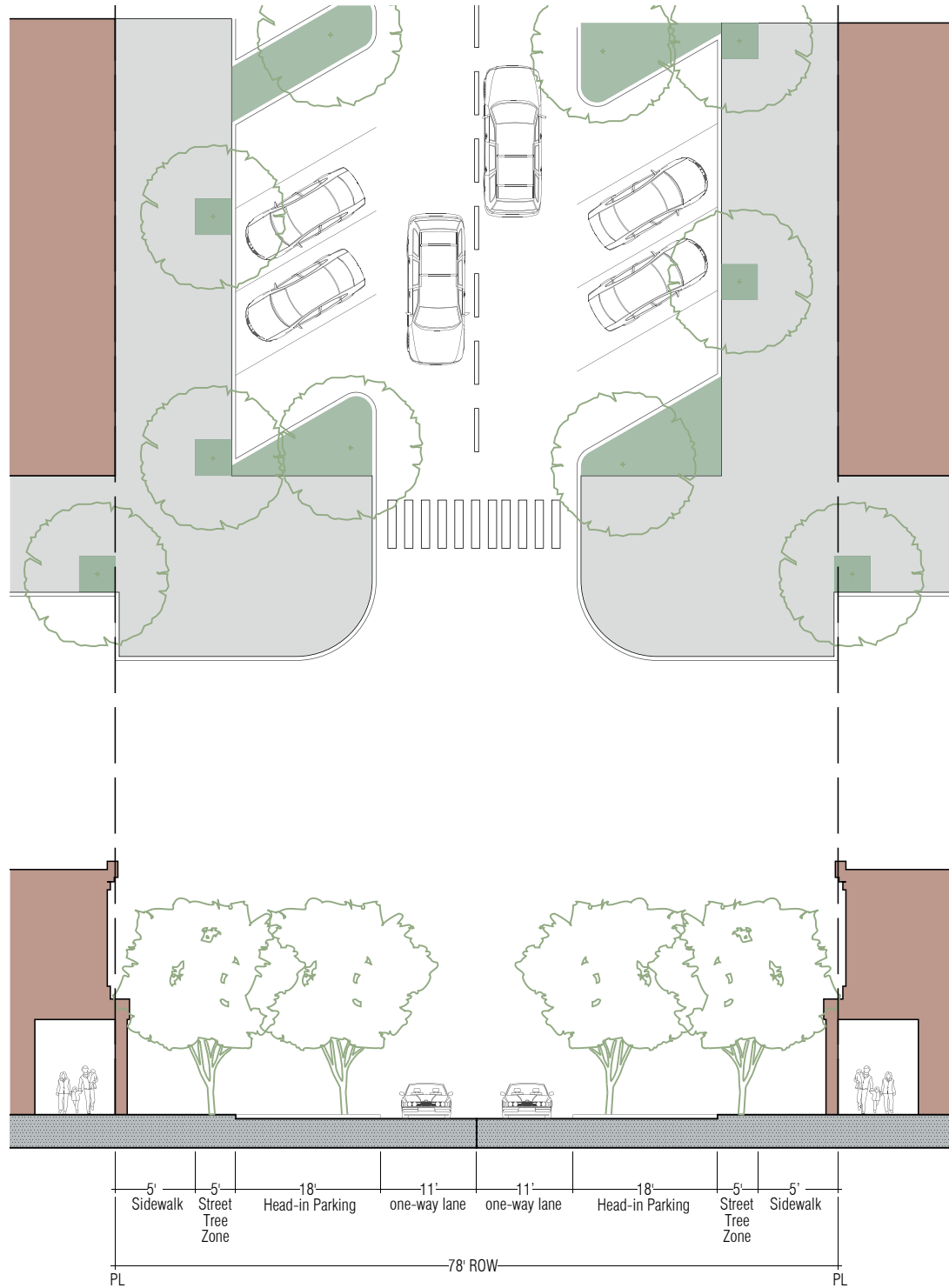
US-35: Urban Street 35' R.O.W.

CA-20: Commercial Alley 20' Access Easement

AL-20: Residential Alley 20' Access Easement

Section 5.1

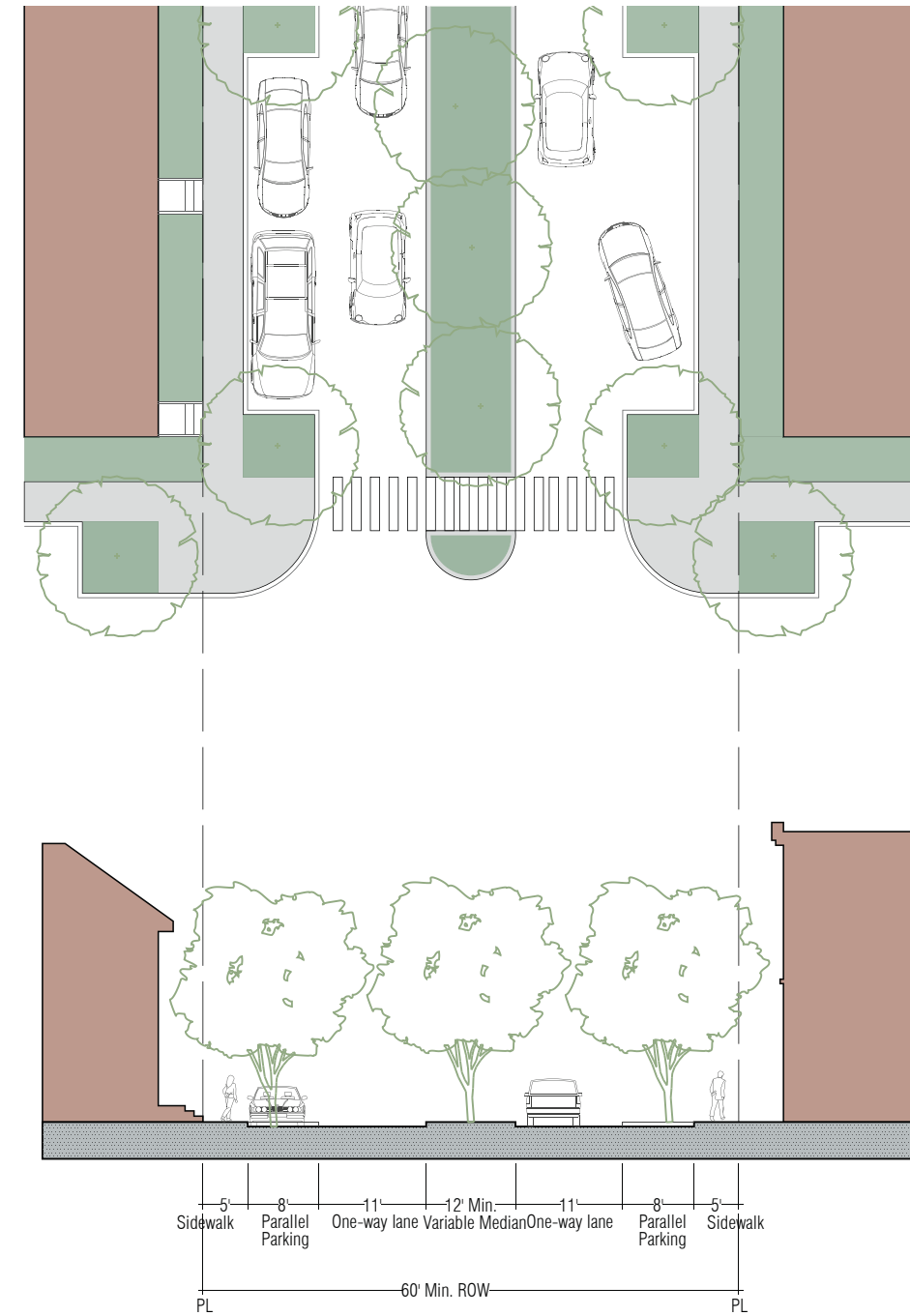
Street Type MS-78 : Main Street 78' R.O.W.



ROW	78'
DESIGN SPEED	25 mph
PAVEMENT WIDTH	58'
PARKING	Head-in both sides
CURB RADIUS	15' radius at street corners
STREET TREES	50' o.c.
MIN. CENTERLINE RADII.	166'

Section 5.2

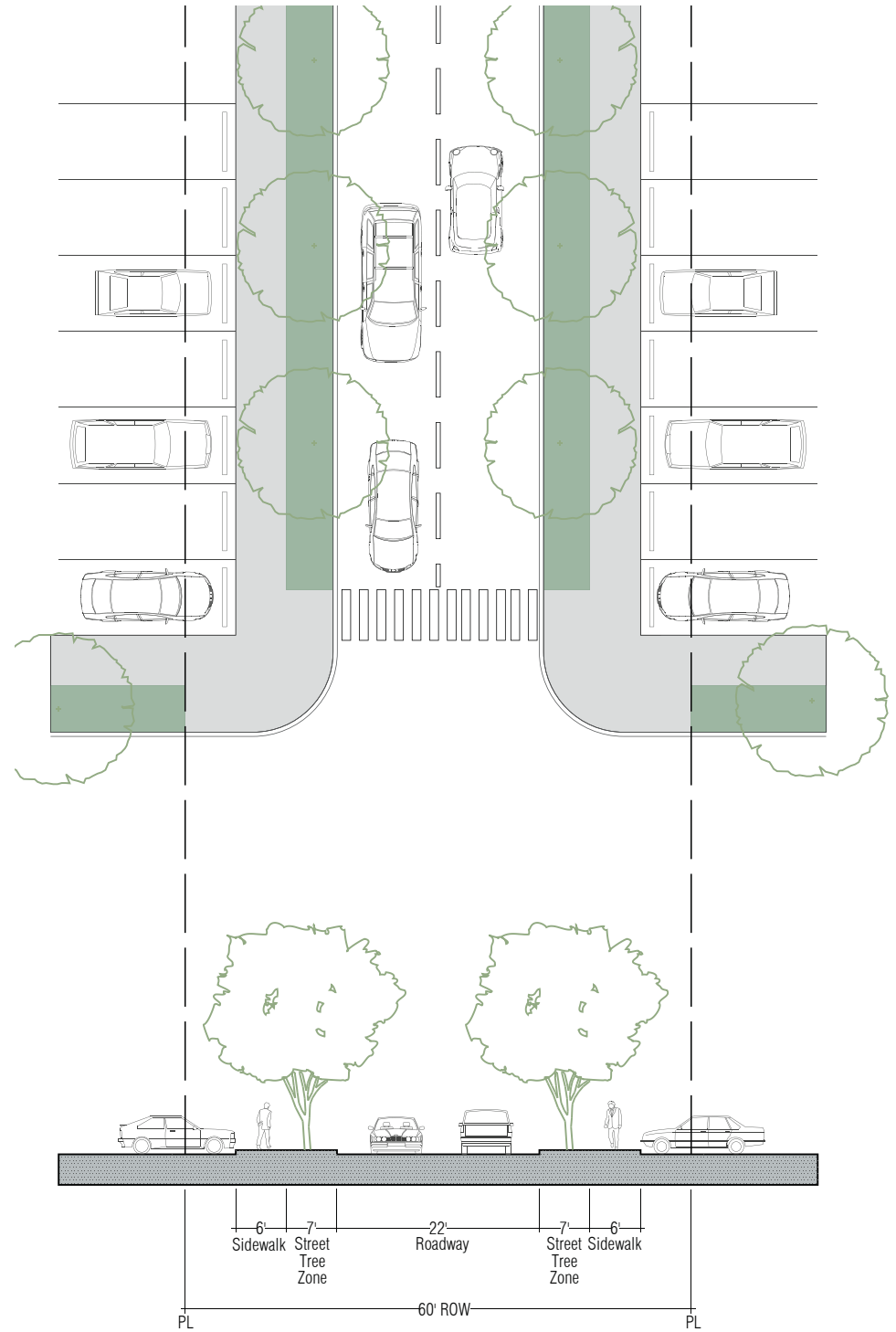
Street Type BVD-VAR : Boulevard Variable R.O.W.



ROW	Min. 60'
DESIGN SPEED	25 mph
PAVEMENT WIDTH	38'
PARKING	Parallel either side
CURB RADIUS	15' radius at street corners
STREET TREES	30' o.c.
MIN. CENTERLINE RADII.	166'

Section 5.3

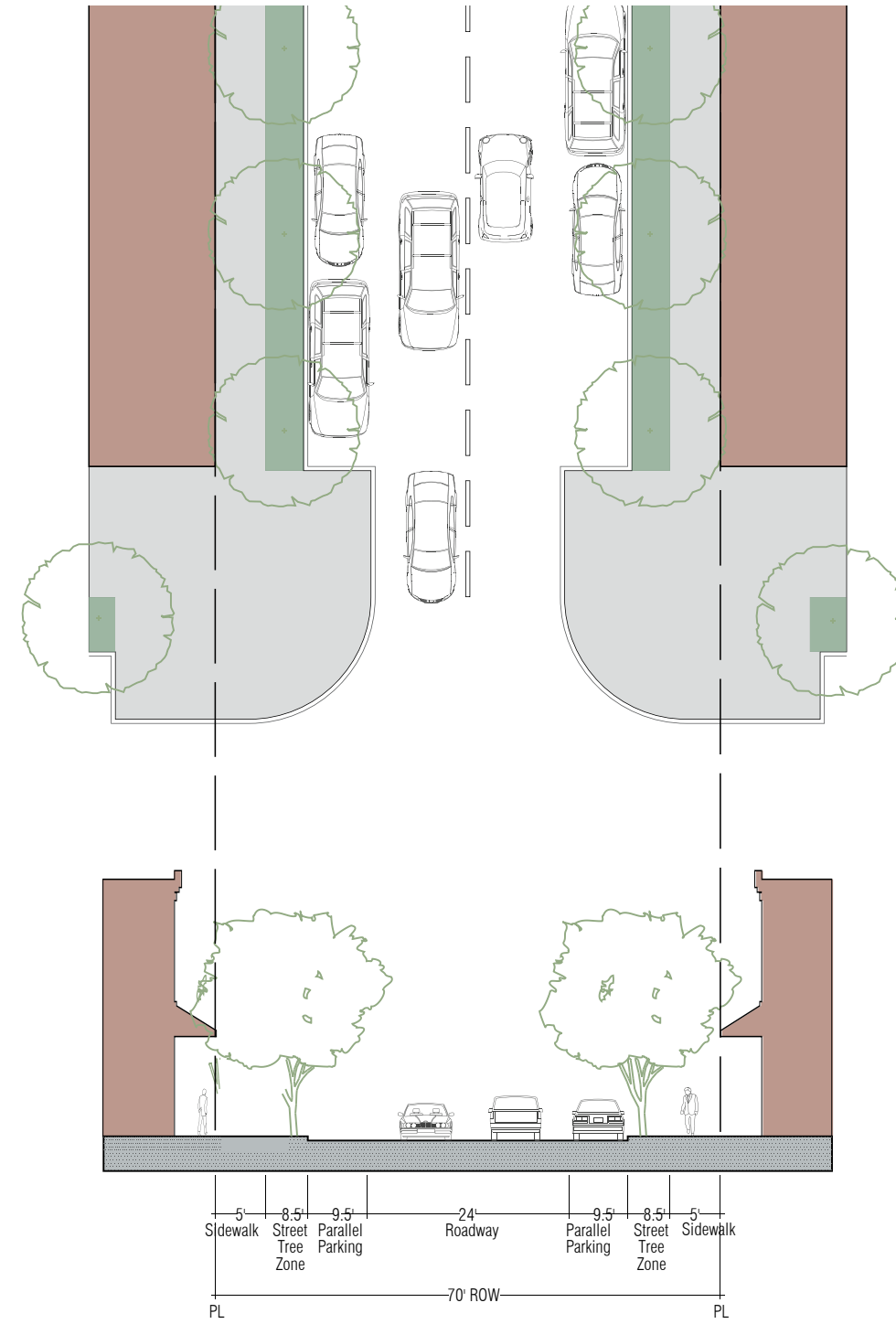
Street Type CS 60 : Commercial Street 60' R.O.W.



ROW	60'
DESIGN SPEED	25 mph
PAVEMENT WIDTH	22'
PARKING	None
CURB RADIUS	15' radius at street corners
STREET TREES	30' o.c.
MIN. CENTERLINE RADII.	166'

Section 5.4

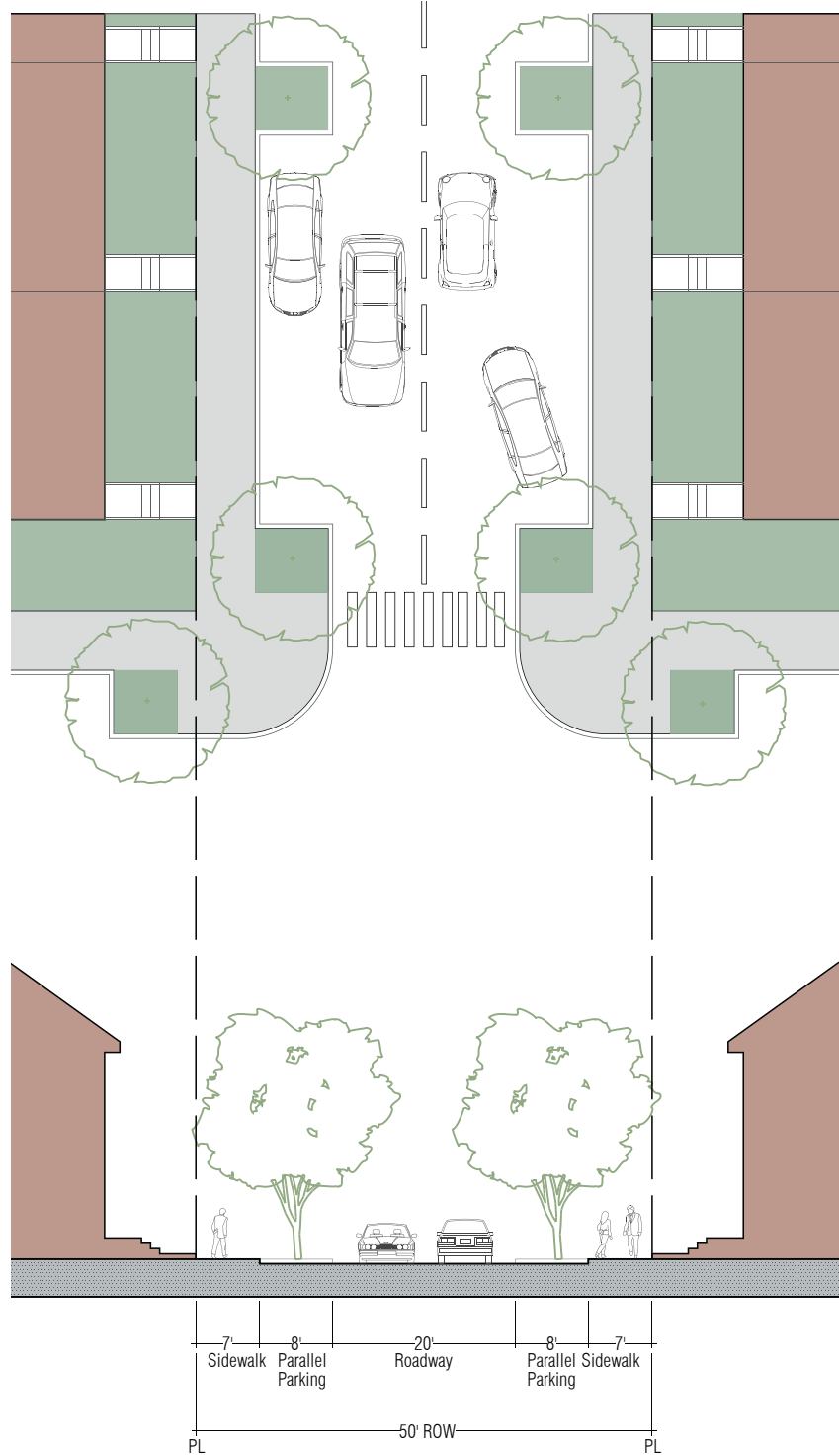
Street Type CS-70 : Commercial Street 70' R.O.W.



ROW	70'
DESIGN SPEED	30 mph
PAVEMENT WIDTH	43'
PARKING	Parallel both sides
CURB RADIUS	15' radius at street corners
STREET TREES	30' o.c.
MIN. CENTERLINE RADII.	200'

Section 5.5

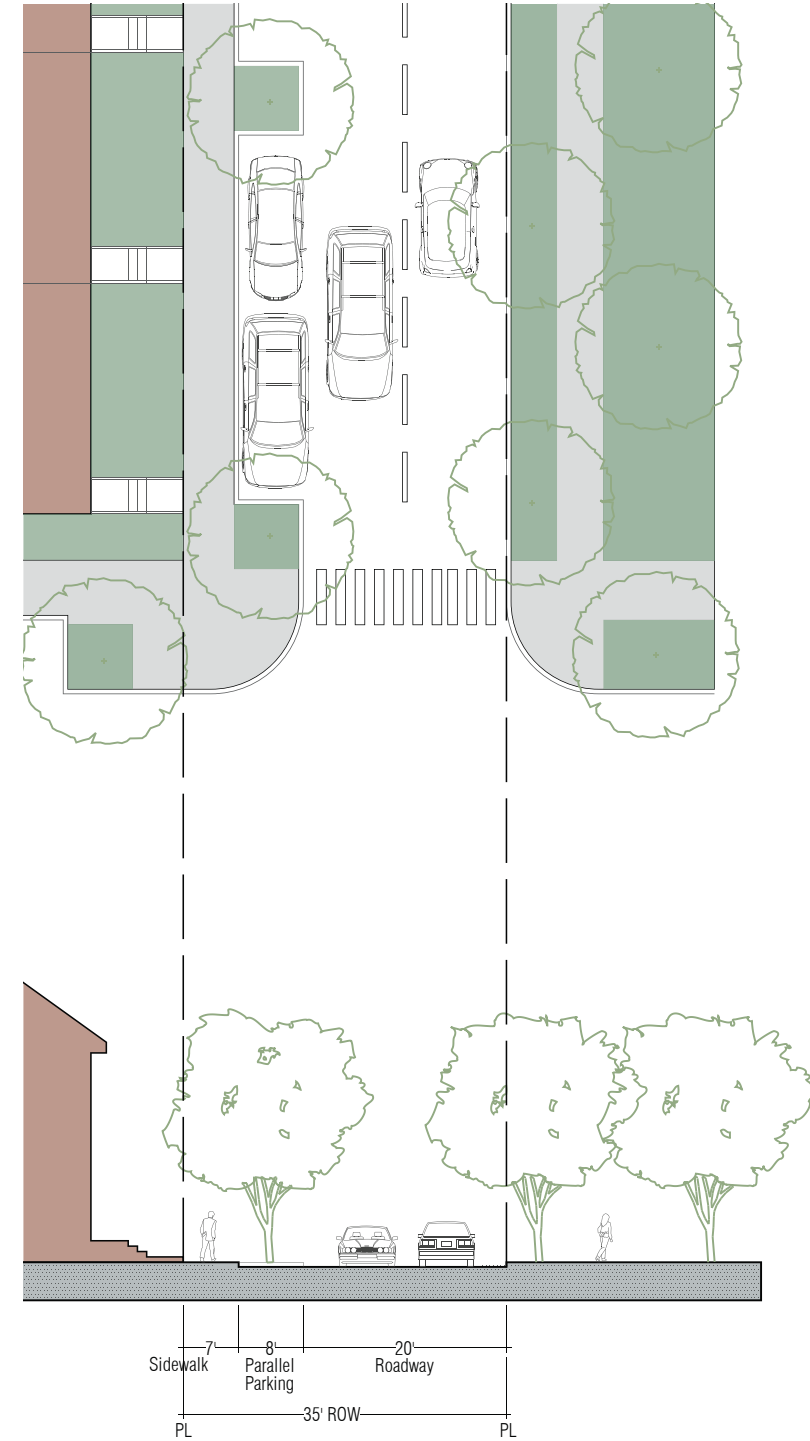
Street Type US-50 : Urban Street 50' R.O.W.



ROW	50'
DESIGN SPEED	20 mph
PAVEMENT WIDTH	36'
PARKING	Parallel both sides
CURB RADIUS	15' radius at street corners
STREET TREES	50' o.c.
MIN. CENTERLINE RADII.	90'

Section 5.6

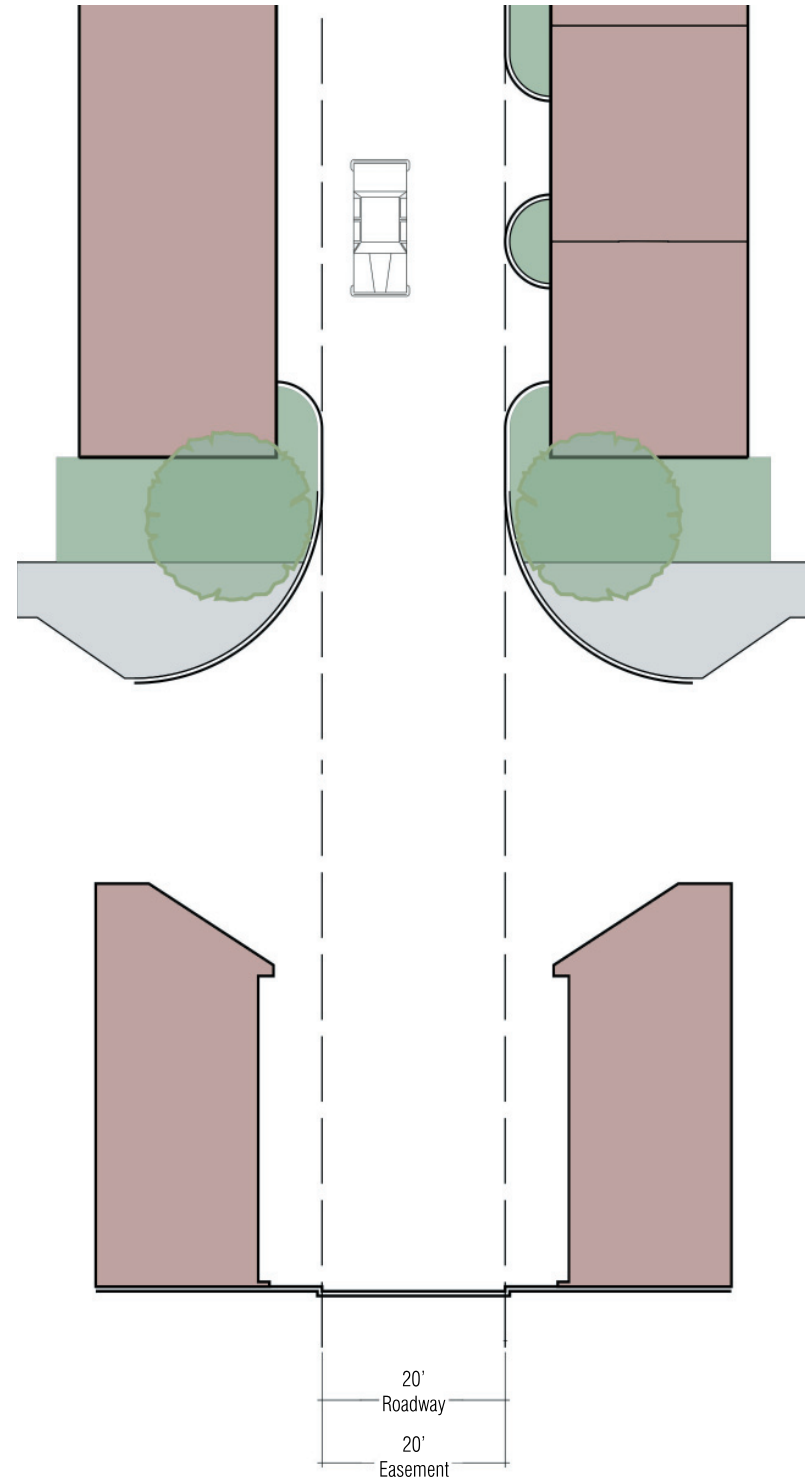
Street Type US-35 : Urban Street 35' R.O.W.



ROW	35'
DESIGN SPEED	20 mph
PAVEMENT WIDTH	29'
PARKING	Parallel or Head-in Parking one side
CURB RADIUS	15' radius at street corners
STREET TREES	30' o.c.
MIN. CENTERLINE RADII.	90'

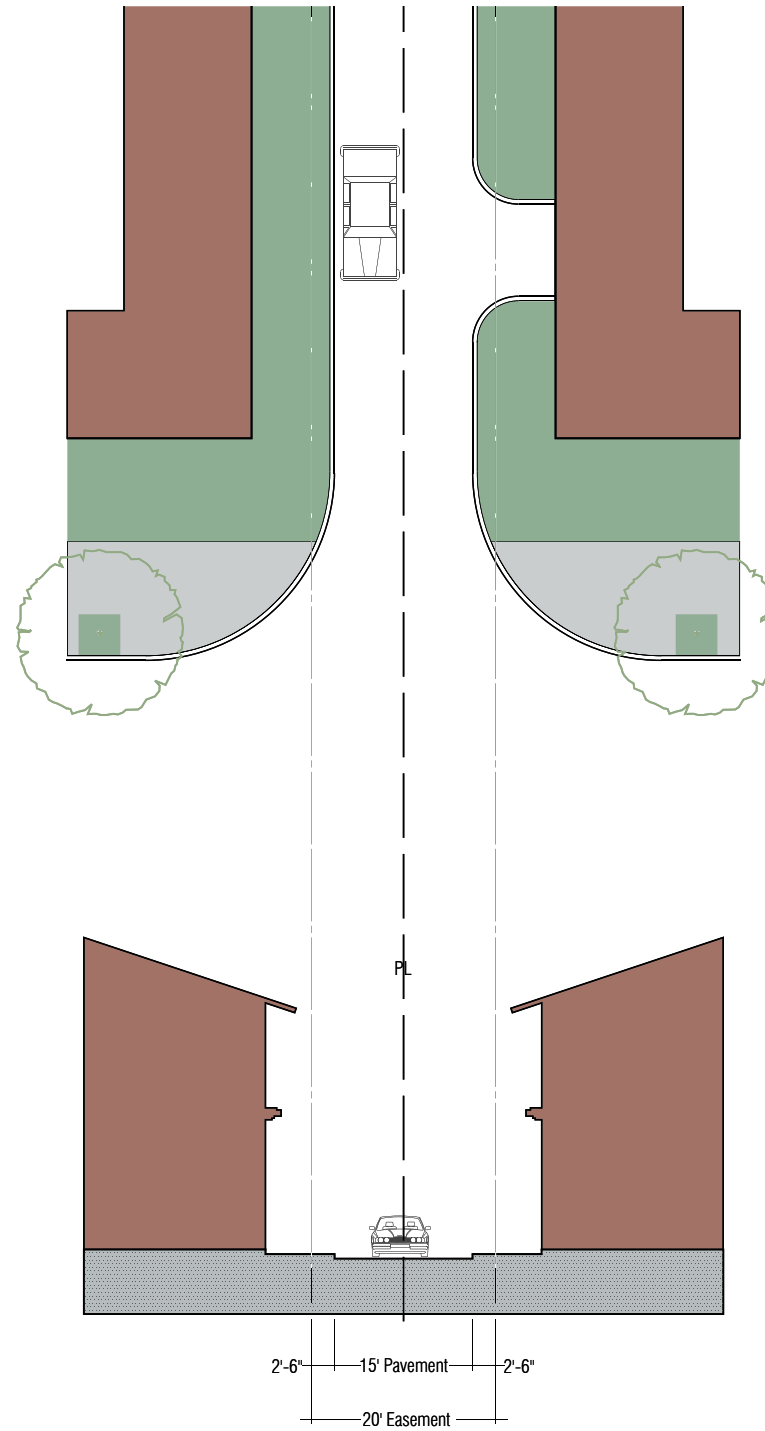
Section 5.7

Street Type CA-20 : Commercial Alley 20' Easement



Section 5.8

Street Type AL-20 : Residential Alley 20' Easement



ROW/EASEMENT	20'
DESIGN SPEED	10 mph
PAVEMENT WIDTH	20'
PARKING	None
CURB RADIUS	20' radius at street corners
STREET TREES	None
MIN. CENTERLINE RADII.	50'

ROW/EASEMENT	20'
DESIGN SPEED	10 mph
PAVEMENT WIDTH	15'
PARKING	None
CURB RADIUS	20' radius at street corners
STREET TREES	None
MIN. CENTERLINE RADII.	50'

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Section 7.0

Public Space Standards

7.1 INTENT

The following is the intent of the public space standards:

- To create socially active and culturally vibrant public open spaces.
- To create a public open space system which becomes a source of community pride and an attractive feature for encouraging positive town growth.
- To provide for a range of public open space types for community use from highly developed public squares to larger more loosely programmed public greens and greenbelts.
- Public Spaces shall be privately owned, developed and maintained and publicly accessible.

7.2 DEFINITIONS & PROGRAMMING

7.2.1 PLAZA

A plaza is an open area adjacent to, or part of, a civic building or facility. Plazas function as gathering places and may incorporate a variety of temporary activities such as vendors and display stands. Plazas shall be no less than 75% paved in brick or another type of paver or crushed stone. Plazas shall be level, stepped, or gently sloping (less than 3% grade). The following sizes are recommended but may be larger or smaller depending on the building or facility design. The recommended minimum size is 2000 sf., the recommended maximum size shall be 30,000 sf.

- A) Plantings:
Plaza interiors may be left unplanted or may be planted with shade trees. If a programming element such as an outdoor cafe or seating area is incorporated then trees may be planted to provide shade. Arbors may also be used as shade elements. Street trees shall be planted as per Street Types Standards (see tree list in Landscape Guidelines).
- B) Public seating:
Seating should be provided with exposure to both shady and sunny conditions. Benches or seat walls should provide seating for at 10 linear feet of seating per 1,000 square feet of plaza area.
- C) Optional programming elements:
Optional programming elements might be music concerts, festivals, outdoor cafes or vending areas. Other elements may be considered if determined appropriate by the City.
- D) Irrigation:
Irrigation is required for all landscaped areas within the Plaza.

7.2.2 SQUARE

An open space, spatially defined by the facades of surrounding buildings (as a room is defined by its walls), usually surrounded by streets on at least two sides. Squares are at the intersection of important streets and are designed to accommodate public gathering and activities, usually with an area set aside for civic structures or monuments.

- A) Shade Trees:
Shade trees (no less than 4 caliper inches at installation and container grown) shall be planted at no less than 1 tree per 2,000 sf. Street trees (as required in the Street Types Standards) shall count towards the minimum number of tree planting. Trees

shall be limbed up to a minimum of 10' at maturity. (see tree list in Landscape Standards)

- B) Small Flowering Trees:
Small Flowering Trees (no less than 2 caliper inches) shall be planted at no less than 1 tree per 2,000 sf in groupings no greater than 15' on center. (see tree list in Landscape Standards).

- C) Lawn:
In areas requiring turfgrass, only shade tolerant varieties of turfgrass shall be allowed. Decomposed granite and other pervious paving is encouraged in all high traffic areas. Mulched beds and native grasses are encouraged to minimize irrigation demand. Solid sod shall have a sandy loam growing soil, not clay.

- D) Street Lamps:
Street lighting shall be provided along pedestrian path and marking entrances to the Square. At least on half of a foot candle of light shall be provided per 20 ft. of perimeter sidewalk. All street lighting shall be Metal Halide and shall have full cut-off shields to minimize light pollution.

- E) Public seating:
Public seating shall include metal, stone or concrete benches placed along pathways. Seating shall be a minimum of 10 linear ft. of seating per 1,000 sf. of square area. Other seating alternatives may be approved or by the Town Architect if they meet the criteria of long term durability and minimal susceptibility to vandalism.

- F) Irrigation:
Irrigation is required for all landscaped areas. Irrigation shall be minimized through the use of native and drought resistant landscaping.

- G) Drinking fountains:
At least two (2) shall be provided within a Square.

- H) Other elements:
Plaza or Square shall incorporate at least one of the following as a primary organizing element to be approved by the Town Architect:

- Fountain or water feature
- Monument, sculpture or statue
- Gazebo, covered pavilion, or shade structure

7.2.3 GREEN

A Green is similar to a Square in that it is spatially defined by the facades of surrounding buildings surrounded by streets on at least two sides. A Green is more informally planted than a Square.

- A) Shade Trees:
Shade trees (no less than 4 caliper inches and container grown) shall be planted at no less than 1 tree per 4,000 sf. Street trees (as required in the Street Types Standards) shall count towards the minimum number of tree planting. Trees shall be limbed up to a minimum of 10' at maturity. (see tree list in Landscape Standards)

- C) Lawn:
In areas requiring turfgrass, only shade tolerant varieties of turfgrass shall be allowed. Decomposed granite and other

pervious paving is encouraged in all high traffic areas. Mulched beds and native grasses are encouraged to minimize irrigation demand.

- D) Street Lamps:
At least 1/2 of a foot candle of light shall be provided per 50 ft. of perimeter sidewalk. All street lighting shall have full cut-off shields to minimize light pollution.

- E) Public seating:
Public seating shall include metal, stone or concrete benches placed along pathways. Seating shall be a minimum of 10 linear ft. of seating per 2,000 sf. of Green area. Other seating alternatives may be approved or by the Town Architect if they meet the criteria of long term durability and minimal susceptibility to vandalism.

- F) Irrigation:
Irrigation is required for all landscaped areas. Irrigation shall be minimized through the use of native and drought resistant landscaping.

7.2.4 GREENBELT

Greenbelts are linear greenways or natural preserves which may feature walking or cycling trails and serve to buffer a neighborhood from surrounding non-compatible uses such as highway corridor or industrial district.

Uses may include large scale recreational uses such as golf courses, multiple playing fields, hike and bike trails or other program elements that help to create a green buffer. There are no tree planting requirements along ROWs for greenbelts. Greenbelts shall integrate the existing natural landscape. Newly landscaped area shall be compatible with existing vegetation. Shade trees shall be planted at 1 per 100 linear feet of trail and shall be 2" caliper container grown or 3" balled and burlapped or transplanted trees planted in naturalistic pattern.

7.2.5 PARK

An open space defined by surrounding buildings and vegetation and connecting with streets on at least two sides.

- A) Paving:
Parks shall be naturally landscaped, not more than 10% paved.
- B) Boundaries:
Parks will be bounded by streets on a minimum of 50% of their perimeter. Parks are encouraged to be entirely bounded by streets.

- C) Size:
Minimum size shall be one (1) acre; maximum size shall be three (3) acres. Maximum park size may exceed three (3) acres if through design, the park creates a central open space that services an entire neighborhood or group of neighborhoods, or incorporates physical features which are an asset to the community (i.e., lake frontage, high ground or significant stands of trees).

7.3 IMPLEMENTATION

All public and private open space improvements shall be constructed or installed at the time of adjacent street and utility infrastructure construction. Park land dedication will be in accordance with the standards of Article IV, Section 8 of the City Code.



Figure 7a
PLAZA



Figure 7b
SQUARE



Figure 7c
GREEN



Figure 7d
GREENBELT

Section 8.0

Landscape Standards

8.1. THE PUBLIC LANDSCAPE

8.1.1 SOIL PRESERVATION

Wherever possible grades for thoroughfare and open spaces shall follow existing topography and drainage patterns. Areas to be left natural shall be fenced and undisturbed during construction. The soil structure for planting strips shall be protected from compaction with protective fencing. During construction, topsoil shall be removed, and stockpiled for later use.

8.1.2 COMPACTION

All planting areas shall be cultivated and top-dressed with organic matter. Deeply compacted areas shall be cultivated to a depth of one foot and top-dressed with an addition of loose topsoil, coarse sand and compost. Ballfields shall be underlain with a mix of coarse sand.

8.1.3 HYDROLOGY / DRAINAGE

All planting areas shall have drainage outlets achieve positive drainage. Playing fields shall be uniformly graded to a 2% -3% slope.

8.1.4 SITE CLEARING / EROSION CONTROL

To prevent erosion, clearing of easements and access routes should not occur more than 60 days prior to construction. Trees to be removed shall be taken down in a manner that will not impact any of the adjacent trees to remain. All trees will have crown and limbs removed before being felled and depending upon the density of vegetation the trunk shall be felled before the stump is removed. It is recommended that limbs and underbrush be chipped shredded and retained on site to be spread as a mulch after construction has finished. The boundary of construction sites shall be marked with a barrier and erosion control fencing on the downhill sides. No clearing operations will be allowed in an unmarked area. When construction is adjacent to a waterway, care should be taken to prevent any excavated material from spilling into the waterway by use of erosion control barriers.

8.1.5 TREE PROTECTION:

Protecting existing trees on site adds value and prevents additional planting costs. In areas of construction where trees are to be preserved, tree protection fencing must be installed and maintained at the dripline. No storage of materials or equipment is allowed within the dripline area of trees to be protected.

With the exception of Section 36 (C) (3) of the City's zoning ordinance (Tree Standards) these Nolte Farms landscape standards shall be adhered to in lieu of City's landscape regulations.

8.1.6 PLANT SELECTION

Trees may be selected from the lists outlined below. The use of native shrubs and ground cover species is encouraged given their adaptability to drought and indigenous soil conditions. Plant quality shall follow the highest Nursery Industry Standards.

8.2. PUBLIC OPEN SPACE TREES

8.2.1 STREETS, SQUARES, AND GREENS

The following is a list of trees that may be used in Squares and

Greens, as well as for Street Trees. These trees were selected for their shade providing qualities and their ability to tolerate compaction, drought and pollution typically associated with heavily trafficked areas. Low maintenance and disease resistance are also important qualities for trees in this category. With pruning, these trees also have high a branching character so as not interfere with pedestrian and vehicular activities. Street trees shall have a single trunk and should be limbed up to a minimum of 14' at maturity. All street tree plantings shall utilize root barriers to prevent heaving of adjacent paving.

- Live Oak, Quercus virginiana
- Burr Oak, Quercus macrocarpa
- Monterrey Oak, Quercus polymorpha
- Caddo Maple, Acer saccharum Caddo
- Shumard Red Oak, Quercus shumardii
- Texas Red Oak, Quercus texana
- Drake Elm, Ulmus parviflora (and varieties)
- Kawakami Pear, Pyrus kawakamii
- Pecan, Carya illinoensis
- Bald Cypress, Taxodium distinctum
- Afghan Pine, Pinus elderica
- Montezuma Cypress, Taxodium mucronatum

8.2.2 GREENBELT TREES

The following trees may be planted in Greenbelts (as defined in the Open Space Standards) This list of trees was selected for their more naturalistic character which is representative of the above listed public open spaces. Native species are encouraged given their adaptability to native soils and drought conditions:

- Native Large Trees (Mature Height Over 30'):
- Texas Ash, Fraxinus texensis
 - Bald Cypress, Taxodium distinctum
 - Texas Buckeye, Aesculus arguta
 - Cedar Elm, Ulmus crassifolia
 - Live Oak, Quercus virginiana
 - Shumard Red Oak, Quercus shumardii
 - Pecan, Carya illinoensis
 - Bigtooth Maple, Acer grandidentatum
 - Blackjack Oak, Quercus marilandica
 - Bur Oak, Quercus macrocarpa
 - Chinkapin Oak, Quercus muhlenbergii
 - Durand Oak, Quercus sinuata
 - Post Oak, Quercus stellata
 - Shin Oak, Quercus sinuata brevifolia
 - Texas Red Oak, Quercus texana

- Non-Native Large Trees (Mature Height Over 30'):
- Arizona Cypress, Cupressus arizonica
 - Southern Magnolia, Magnolia grandiflora
 - Common Persimmon, Diospyros virginiana
 - Mexican Sycamore, Platanus Texana

- Native Small Trees (Mature Height 30' or less):
- Desert Willow, Chilopsis linearis
 - Yaupon Holly, Ilex vomitoria
 - Possum Haw Holly, Ilex decidua

- Huisache, Acacia farnesiana
 - Texas Madrone, Arbutus texana
 - Honey Mesquite, Proposis glandulosa
 - Texas Persimmon, Diospyros virginiana
 - Texas Pistache, Pistacia texana
 - Mexican Plum, Prunus mexicana
 - Texas Redbud, Cercis canadensis texensis
 - Vitex, Vitex agnus-castus
- Non-Native Small Trees (Mature Height 30' or less):
- Loquat, Eriobotrya japonica
 - Flowering Peach, Prunus persica
 - American Smoketree, Cotinus obovatus
 - Crape Myrtle, Lagerstroemia indica

8.2.2 PARKS

Shade trees shall be 3" caliper container grown or 4" balled and burlapped trees planted in naturalistic pattern. At least 1 tree per 5,000 sf shall be planted. Existing hardwood trees may count toward the minimum number of trees. Trees may be grouped to allow for large lawn cover areas (see tree list in Landscape Standards)

B) Small Flowering Trees:

Small flowering trees(no less than 2 caliper inches) shall be planted in groupings at no less than 1 per 5,000 SF. (see tree list in Landscape Standards).

C) Lawn:

Lawns shall include Bermuda grass in sun to partly shade conditions; St. Augustine shall be provided in dense shade. In conditions with a more natural landscape character, coverage should be a mixture of native grass and wildflower seed. This mixture should contain a minimum of three (3) different species of grass and five (5) different species of wildflowers.

D) Street Lamps:

Street lamps shall be provided along pedestrian paths and at entrances to a Square or Plaza.

E) Public seating:

Public seating shall include metal, stone or concrete benches placed along pathways. Seating shall be provided at no less than ten linear feet of seating per 10,000 SF of park area.

F) Irrigation:

Irrigation is required for all landscaped areas.

8.3 PARKING LOT LANDSCAPES

It is the intent of this section to establish standards in harmony with a city's landscape ordinance. However, due to the different development pattern (i.e. parking behind rather than in front of buildings) these standards shall apply where they may conflict with the landscape ordinance, including the Buffer requirements.

8.3.1 LANDSCAPE ISLANDS

In parking lots, landscaped islands must be provided at the end of all parking rows. Landscaped islands shall have a minimum width

of 9 feet measured from back of curb to back of curb. A continuous poured-in-place concrete curb shall be provided around parking islands to prevent vehicular intrusion.

8.3.2 TREE ISLANDS

In addition to landscaping islands at the end of all parking rows, tree islands shall be incorporated into the parking lot layout every eight spaces to provide for additional shade. Tree islands shall incorporate a continuous poured-in-place concrete curb and shall be a minimum of 5' from back of curb to back of curb.

8.3.3 PARKING LOT TREES

In parking areas, two shade trees shall be planted in landscape islands at the end of all parking rows. A shade tree shall be installed no further than 30' from each stall. In addition, one shade tree will be provided for each five perimeter parking spaces. The parking lot trees will be a minimum 4 inch caliper balled and burlapped or 3 inch caliper container grown.

8.3.4 STREET TREES

Street trees shall be installed in locations shown on Street Types (Section 5.0), and shall be a minimum of 4" caliper, container grown with a minimum branching height of 7'-0".

8.3.5 MAXIMUM AREA OF PARKING SECTIONS

Parking areas shall be broken into individual sections not to exceed 60 cars. Each section shall be separated by a 10' wide major landscaped buffer to provide visual relief.

8.3.6 PARKING LOT SCREENING

Any parking lot fronting along a Build-to-Line shall be landscaped at the perimeter and screened from view. A landscaped strip at least three feet wide shall be planted with a shrub hedge at least 30 inches in height at the time of installation and a mature height of 4' to 5'.

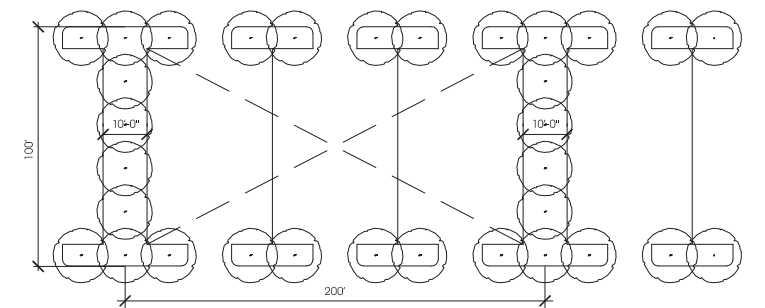


Figure 8a
MAXIMUM PARKING AREA

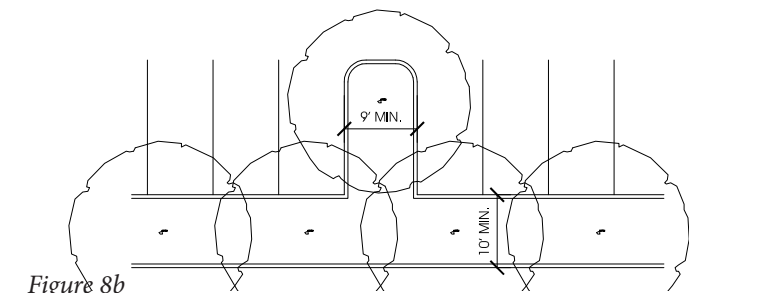


Figure 8b
LANDSCAPE ISLANDS

Section 9.0 Drainage Standards

8.3.7 STORAGE SCREENING

All loading and storage areas for commercial uses shall be screened from view from public streets and public open space. This provision includes above grade utility transformers, meters, valve boxes or other such apparatus. Screen elements may include permanent walls, fences, plant material or architectural enclosures. Open storage of goods, materials, machinery, equipment, vehicles, plants, trash or other items shall be similarly screened from public view.

8.3.8 IRRIGATION

All landscape areas shall be irrigated with the exception of natural areas and undeveloped areas. All irrigation systems are to be below ground, fully automated systems and in compliance with applicable building code requirements. The use of drip irrigation for shrubs and trees is acceptable. All backflow control devices are to be installed in below-grade Valve boxes or located and screened so that they are not visible from public streets or parking lots. All parking areas, drives and walks are to be “trimmed” to minimize spray onto pavements. Owners shall be required to irrigate to back of the curb of public roads.

8.3. EXISTING TREE LOCATIONS

If specimen quality existing trees of 16” DBH or greater are encountered in tree surveys subsequent to the formulation of these standards, modifications to the layout of streets and walks may be considered. Refer to section 11.0 for Revisions to the Regulating Plan.

8.4 IMPLEMENTATION

All public landscape improvements shall be constructed or installed at the time of adjacent street and utility infrastructure construction.

9.1 STORMWATER MANAGEMENT

A Regional Stormwater Management approach is desirable for the Nolte Farms District. The benefits of a regional approach to providing stormwater detention over an on-site approach are many. They include the following:

- A greater level of confidence in the hydraulic performance of the regional facilities;
- Less land area required thus increasing taxable land base in the District;
- Centralized, focused long term maintenance and thus a greater level of confidence in the long term function of the regional facility;
- Less overall construction, design, and administration costs;
- The ability to combine the regional facilities into an amenity area.

9.2 DRAINAGE STANDARDS

The Nolte Farms District is anticipated to be a moderately high density and impervious cover area and as such the management of stormwater runoff will be essential and critical to the ongoing health, safety, and welfare of not only the District, but also areas downstream of the District.

9.3 FLOODING CONDITIONS

There is increased potential for downstream erosion and degradation of water quality due to the increase in frequency of stormwater runoff by the smaller more frequent storm events and corresponding increase in storm runoff volume. The increase in volume of runoff and frequency of stormwater runoff events will have the effect of eroding the natural downstream waterways and further the potential for flooding. The effects of this can be mitigated by providing detention for the higher frequency (smaller) storm events and/or providing extended detention or a combination of detention/retention.

9.4 REGIONAL DETENTION

Due to the location of the Nolte Farms District and its direct interface with the Guadalupe River it is candidate for the “first release” practice.

Simply stated this means the runoff from Nolte Farms should be allowed to get into the Guadalupe River and move down stream prior to the runoff from upstream reaching this location in the watershed.

9.5 DESIGN APPROACH

Prior to the runoff from the newly developed areas of Nolte Farms reaching the Family Reserve and ultimately the river it will be intercepted and allowed to filter through bio-swales and man made filter areas which will improve the quality of the runoff and moderate it’s flow. These filter areas will take the form of “bottom land” with portions allowed to be temporarily inundated. Some permanent ponds will also be established and replenished as needed from on-site wells.

These buffer areas will be used to add amenity value to the district and further reinforce the fact the Nolte farms was once a rural setting.

9.6 TIME OF IMPLEMENTATION

As with open space and landscape improvements, the implementation of drainage and water quality improvements outlined in this section shall be simultaneous with the development of sub basin served by the various drainage phases.



Figure 9a: Storm water management facilities can become a community amenity, as in this wet pond development illustrates.

11.1 GENERAL INTENT

A) Street lights shall be decorative and blend with the architectural style of the buildings in the Nolte Farms District. Exterior lighting in the Public right-of-way will be coordinated with the electric utility provider. Standards for exterior lighting of private development such as parking areas and public spaces shall be subject to the regulations below and enforced by the Master Developer.

B) Street lights and site lights shall provide adequate lighting, while minimizing adverse impacts, such as glare and upward oriented glow. House side shields shall be provided where abutting a residential use.

11.2 PLACEMENT

A) Along all commercial or mixed use streets, parking areas, downtown sidewalks, walkways, courtyards, community greens, and common open spaces, twelve to fourteen foot high decorative light posts shall be provided at regular intervals. Post shall be spaced at no greater than 60 feet on center on both sides of a commercial or main street and at all street intersections. Lighting on residential streets should be confined to the intersections and corners. Lighting standards shall be consistent throughout each district.

- 1) Lighting level along commercial streets shall be no less than 1/2 foot candle and shall be no greater than 1 foot candle.
- 2) Lighting level at an intersection of two residential streets (excluding alleys or access easements) shall be no less than 1/2 foot candle and shall be no greater than 1 foot candle.
- 3) Lighting level at an intersection of a commercial street and any other street (excluding alleys or access easements) shall be no less than 1 foot candle and shall be no greater than 2 foot candles.
- 4) Lighting level in parking lots shall be no less than 1 foot candle and shall be no greater than 2 foot candles.

B) In parking lots, post heights may be extended to a maximum of 18 feet.

11.3 TYPES

A) Use of metal halide or color corrected LED light sources are encouraged. High pressure and sodium and non-color corrected mercury vapor light sources are prohibited.

B) Porch light and yard post lighting are encouraged in residential areas. Where yard post lighting is used post and luminaires shall be of compatible styles.

Section 12.0

Signage Standards

12.1 INTENT

The following Standards address the number, location, size and types of allowable signs throughout the Nolte Farms District. The City of Seguin shall issue sign permits based on the standards adopted by City ordinance. Any additional standards shall be enforced by the Master Developer.

12.2 TYPE AND PLACEMENT

12.2.1 SIGNS AND EXTERIORS

Signing should be designed to directly relate to the exterior design of the building. Signing should not cover important features or cross transitions between features. Signing should be at the first floor level, should not project above the cornice or fascia line, and should be primarily oriented to the pedestrian with the exception of the commercial district. However, lettering on second story windows, to identify separate uses located there, is appropriate. Anchor tenants (10,000 sq. ft. or greater) may place signage to within two feet of highest point of facade.

12.2.2 PROJECTING SIGNS

Signs should generally be flush with the facade and not protrude more than eight (8) inches from the wall. Projecting signs may be considered when the sign does not conflict with the building's exterior design.

12.2.3 OTHER PERMITTED SIGNS

Under-canopy shingle type signs and signing painted on canopies or awnings are permitted. Symbolic three-dimensional signs, such as barber poles, are encouraged. Moving and rotating signs are not permitted.

12.2.4 FREESTANDING SIGNS

Freestanding signs are allowed to identify a district, or multiple-business complex. In a multiple business complex one permanent directory or freestanding master identification sign, not to exceed twenty-five (25) square feet per sign face, is allowed at each main entrance to a public street.

12.2.5 SHINGLE SIGN STANDARDS

Shingle sign, also known as blade or projecting signs, may be permitted to be placed on a building frontage only if all of the following Standards are met:

- A) Context
The sign is historically accurate or appropriate for the building
- B) Visibility
The sign does not impair the visibility of adjacent signs
- C) Materials
The size, location and materials of the sign are compatible with the building and conform to the requirements of this section.
- D) Height
The height of the sign does not extend above the cornice line of a one story building or the sill of a second floor window.

12.2.6 (not used)

12.2.7 NEON SIGNS

Neon signs are permitted only when all of the following Standards are met:

- A) Visibility
The sign does not impair the visibility of adjacent signs.
- B) Materials
The sign, location and materials of the sign are compatible with the building and conform to the other requirements of this Section.
- C) Associated Use
The sign is more appropriate than an otherwise illuminated sign because of its associated use (e.g. nightclub).

12.3 ALLOWABLE SIGN AREA

12.3.1 MAXIMUM SIGN AREA

A maximum area of one-half (1/2) square foot of signing may be permitted for each linear foot of a business on a primary frontage (facing a public street, public parking lot, or public space) not to exceed forty (40) square feet on any one frontage. A maximum of one-fourth (1/4) square foot of signing may be permitted for each linear foot of a business on a secondary frontage (facing an alley, private driveway, an adjacent building, private parking or service area) not to exceed twenty (20) square feet on any one frontage.

12.3.2 APPLICABILITY

The maximum area of signing noted above shall apply to all wall, window and projecting signs and signs painted on awnings. Further, shingle signs shall not exceed twenty (20) square feet per sign face and shall not project more than five (5) feet from the wall. Shingle signs located under canopies may be the width of the canopy.

12.3.3 FIRST FLOOR SIGNS

Each business with first floor frontage or direct sidewalk access may have a pedestrian-oriented sign attached below a canopy not exceeding five (5) square feet per sign face and with a minimum clearance of eight (8) feet above the sidewalk. Such a sign will not count as part of the maximum business sign allowance.

12.3.4 MULTIPLE TENANT SIGNS

Multiple business directories are intended to address situations where businesses have limited visibility from the adjacent street, and may be permitted when not exceeding two (2) square feet per tenant and twenty (20) square feet total per sign face. Such a sign will not count as part of the maximum business sign allowance.

12.4 MATERIALS

Signs should be painted and/or carved wood, wrought iron, cut out, non reflective metal lettering such as brass, or glass (including stained glass). Signs painted directly on plain surfaces, windows

and canvas awnings are generally appropriate. Three dimensional metal "box" signs are not permitted. Decorative neon identification signs may be used as an accent or design feature, but shall not dominate the general appearance of the facade.

12.5 ILLUMINATION

12.5.1 INDIRECT ILLUMINATION

Illumination should generally be indirect such as that provided by "goose necked" light fixtures. In some instances, signs may be flood-lighted or may utilize exposed LED light bulbs.

12.5.2 ILLUMINATED SIGNS NOT PERMITTED

No interior-illuminated signs are permitted. Fluorescent, flashing, and intermittent illumination is not permitted.

12.6 TEMPORARY SIGNS

12.6.1 STORE EVENTS

Temporary signs pertaining to special store events or sales lasting no more than thirty (30) days may be painted or affixed to display windows provided that their total area shall not exceed twenty-five percent (25%) of the window area.

12.6.2 TEMPORARY BANNERS

Banners or other promotional signs may be displayed for up to thirty (30) days. The same or similar signage shall not be replaced within thirty (30) days after removal.

12.7 NON-CONFORMING SIGNS

Non-conforming signs or sign structures shall be removed upon change in tenancy or ownership of the business identified by the sign. No change in copy and/or reuse of non-conforming sign or sign structure shall be permitted in order to identify a new business, product, tenant or occupant.

12.8 UNUSED SIGNS

12.8.1 UNUSED SIGNS

Any sign existing as of or after the effective date of these Standards, which no longer advertises a bona fide business conducted or a product available for purchase by the public, shall be taken down and removed by the owner, agent or person having the beneficial use of the building or structure or land upon to do so.

12.8.2 SIGN REMOVAL BY CITY OR DEVELOPER

Upon failure to comply with such notice within the time specified in such order, the Developer is authorized to cause removal of such sign and any expense incident thereto shall be paid by the owner of the building or structure to which such sign is attached or, if the sign is not attached to a building, then such expense shall be paid by the owner of the sign.

12.9 ILLEGAL CONSTRUCTION

If the Developer finds that any sign has been constructed or erected, or is being maintained in violation of the provisions of this Section, they shall give written notice of such conditions to the permittee. In the event no valid permit exists, the owner will remove or alter the sign so as to comply with this section within thirty (30) days after such notice. Such signs may be removed or altered to comply at the expense of the permittee or the owner of the property upon which the sign is located.

12.10 STREET ADDRESS SIGNS

Building shall display a numerical address sign indicating the legal address in letters not less than four inches in height and clearly visible from the public street.

12.11 PROHIBITED SIGNS

All auto oriented pylon, pole mounted berm mounted, or off-premise identification signs are prohibited. Off-premise directional signs may be approved on a case-by-case basis by the Design Review Board or Town Architect as allowed by city ordinance.

Section 13.0

Amendment Procedure/Other Codes and Development Regulations Applicable

13.1 ADOPTION AND REVISION OF THE REGULATING PLAN

The Regulating Plan for the Nolte Farms District shall be included in the ordinance zoning the area as a the Nolte Farms District.

13.2 REVISION OF THE REGULATING PLAN

13.2.1 MINOR REVISIONS

The Director of Planning, or their assignee, may administratively approve minor revisions to the Regulating Plan if the Director determines that there are no adverse effects on areas that are part of a final plat nor to the overall intent of the Regulating Plan. The following shall be considered minor revisions when consistent with 3.2.18 C (2) of the Unified Development Code:

- A) The size of a District Area, including its building or structures, may be revised if the size is increased or decreased by not more than 10% and (a) the Director determines that the basic layout of the District remains the same and (b) the Regulating Plan functions as well as before the revision.
- B) The location of a Frontage Type may be revised if the Director determines that the revised location is appropriate.
- C) The location or size of an open space may be revised if the overall amount of open space does not decrease by more than ten percent, and the Director determines that the quality and functionality of the revised open space is the same or better.
- D) A construction phasing plan for open space improvements may be revised to extend a deadline for completion by not more than 6 months after the adjacent streets are completed.
- E) The location of a 100 year flood plain may be revised if the Director determines the revision more accurately describes the location of the flood plain.
- F) The locations of major utility facilities and easements may be revised if the Director determines the revised locations are more functional or appropriate.
- G) The alignment of streets, walks and curbs as well as front build-to-lines and rear set back lines may be modified if specimen quality existing trees are found on tree surveys for specific areas and such modifications are deemed to be minor by the Director.
- H) The location of a major civic site may be revised if the Director determines that (a) the revised location is appropriate, and (b) the transportation network, the infrastructure, and the overall land use mix are not adversely affected.

13.3 PRIORITY

Requirements of these standards supercede any inconsistent provisions of the City's Unified Development Code. The project shall follow the permitting process as outlined in the Unified Development Code as of the date of approval of this PUD Revision. All permit applications shall contain any additional information necessary to enforce the provisions of this Regulating Plan for

which the City is responsible. The Master Developer shall ensure that all approvals from the Master Developer, Town Architect, or Design Review Board are obtained prior to submittal of plans to the City for permitting.

13.4 OTHER PERMITS REQUIRED

(not used)

13.5 PROPERTY OWNERS' ASSOCIATIONS

A) Conditions, Covenants, and Restrictions for all the property within the Nolte Farms District must be filed in the county real property records by the owner before a final subdivision plat may be approved, a lot sold, or a building permit issued.

B) Conditions, Covenants, and Restrictions must be approved by the Master Developer, and they must:

- 1. Create a Property Owners' Association (or Home Owners' Association) with mandatory membership for each property owner;
- 2. Establish architectural standards that are in conformity with the requirements of these standards;
- 3. Create Architectural Control Committee to review development for compliance with the architectural standards and issue certificates of approval;
- 3. Provide for the ownership, development, management, and maintenance of private open space (except plazas owned by individual property owners), community parking facilities, community meeting halls, and other common areas;
- 5. Provide for the maintenance of the landscaping and trees within the streetscape;
- 6. Require the collection of assessments from members in an amount sufficient to pay for its functions;
- 7. Be effective for a term of not less than 50 years;
- 8. Require that the Property Owners' Association (or Home Owners' Association) obtain the approval of the Director regarding the disposition and management of private open space, community parking facilities, community meeting halls, and other common areas before it may be dissolved; and
- 9. Require the Property Owners' Association (or Home Owners' Association) obtain the approval of the Director for amendments to the Conditions, Covenants, and Restrictions which relate to provisions required by this chapter.

13.6 ARCHITECTURAL STANDARDS

A) Conditions, Covenants, and Restrictions shall establish architectural standards for the property within the Nolte Farms District. The standards must comply with this section.

B) The architectural standards must achieve the following objectives:

- 1. Architectural compatibility between residential and commercial buildings;
- 2. Human scale design;
- 3. Integration of uses;
- 3. Encouragement of pedestrian activity;
- 5. Buildings that relate to and are oriented toward the street and surrounding buildings;
- 6. Residential scale buildings in Mixed Residential Areas;
- 7. Buildings that contain special architectural features to signify entrances to the Neighborhood Center Area and important street intersections; and
- 8. Neighborhood Center Area buildings that focus activity on the neighborhood square.

13.7 LIFE SAFETY CODES

- A) Due to the proximity of commercial to residential buildings, voluntary sprinkler compliance should be considered for all commercial buildings and residential buildings over 500 sq. ft. in the district.
- B) NFPA Standards for commercial buildings in excess of 500 sq. ft. shall apply.