



PLANNING & CODES

Planning and Zoning Commission Report

ZC 07-23

A request for Zoning Change 07-23 from Agricultural Ranch (A-R) to Multi-Family 2 (MF-2) for a 3.856 acre tract on a property located at 1722 Steffens Rd., Property ID 59126 & 70071 was considered during a public hearing at the Planning & Zoning Commission meeting on March 14, 2023.

Helena Schaefer gave the staff report on this zoning change request, noting that it was just a portion of the larger 62 acre project. She mentioned that the request was for MF-2, which is the medium residential density that allows a maximum of 12 units per acre. This tract would gain access from Steffens Rd. The existing zoning and land use were repeated from the overview of the four zoning cases. The 3.856 acre tract falls completely in the future land use district of Riverside. The acceptable residential density for this future land use district is less than 1 dwelling unit per acre. With the 3.856 acre, there is a possibility of 46 units being constructed. This would exceed the acceptable density. In terms of adverse impacts, Ms. Schaefer also mentioned that there was a small portion of this tract that does fall into the 500 yr FEMA flood zone. The current TIA study that the applicant has in for review has not been approved.

Henry Che, the applicant spoke about the type of residential construction that they would develop, townhouses. He re-iterated about possible access points onto the Bypass and US Hwy 90. He addressed that the area not being rezoned will serve as a green space, a park for the residents. He spoke of a market study that townhouses are in high demand. The Commission asked about the assumptions of utilities. Mr. Che responded that he has been in communication with the City about water and wastewater. He did announce that he closed on the property and made a commitment, purchasing it at risk. Commissioner Felty expressed concern about the inconsistency of the future land use plan and the proposed residential density. Doug Faseler, a representative of the applicant, spoke about the future land use plan and the need for an update.

The regular meeting recessed, and a public hearing was held. There being no responses from the public the regular meeting reconvened for action.

The Commission had further discussions about the need for residential in this area, the potential for flooding near Geronimo Creek, the reduction of the detention areas and the recommendation of the Future Land Use Plan.

After consideration of the staff report and all information given regarding Zoning Change (ZC 07-23), Commissioner Davila made a motion to recommend approval, but there was no second for the motion. Then Commissioner Felty moved that the Planning and Zoning Commission recommend denial of the zoning change from Agricultural Ranch to Multi-Family 2 for the 3.856 acre tract on the property located at 1722 Steffens Rd. Commissioner Schievelbein seconded the motion. The following vote was recorded:

RECOMMENDATION TO DENY THE ZONING CHANGE TO MULTI-FAMILY 2 (MF-2)

MOTION PASSED

6-1-1



Francis Serna, Planning Assistant



ATTEST: Helena Schaefer,
Planner



PLANNING & CODES

ZC 07-23 Staff Report
1722 Steffens Rd (3.856 ac)
Zoning Change from A-R to MF-2

Applicant:

Che Capital Asset Mgmt LLC
200 Shermer Rd, Ste 206
Northbrook, IL 60062

Property Owner:

Trekker, LTD
700 E Hildenbrand, #100
San Antonio, TX 78212

Property Address/Location:

1722 Steffens Rd

Legal Description:

A portion of Abs: 35 Sur:
John Sowell
Property IDs: 59126 &
70071

Lot Size/Project Area:

3.856 acres

Future Land Use Plan:

Riverside

Notifications:

Mailed: March 2, 2023
Newspaper: Feb 26, 2023

Comments Received:

None

Staff Review:

Helena Schaefer
Senior Planner

Attachments:

- Location Map
- Existing Zoning Map
- Future Land Use Plan Map
- Exhibit A Map

REQUEST:

A Zoning Change request from Agricultural-Ranch (A-R) to Multi-Family 2 (MF-2).

ZONING AND LAND USE:

	Zoning	Land Use
Subject Property	A-R	Undeveloped land
N of Property	A-R	Undeveloped land
S of Property	A-R	Former organic farm
E of Property	A-R	Undeveloped land
W of Property	A-R	Undeveloped land

SUMMARY OF STAFF ANALYSIS:

The 3.856-acre tract is located at 1722 Steffens Rd, the site of a former organic herb farm. The applicant is seeking a zoning change from Ag-Ranch to Multi-Family 2 (medium density).

The Commission should consider the recommendations of the Future Land Use Plan, as well as the existing land uses/zoning in the area and any possible adverse impacts that would be created with development.

CRITERIA FOR ZONING CHANGE:

Consistency with the future land use plan – Not consistent.

Compatible with existing and permitted uses of surrounding property – There is existing commercial and public zoning (private school)

Adverse impact on surrounding properties or natural environment – Small portion of rezone request is in the 500 yr FEMA floodplain

Proposed zoning follows a logical and orderly pattern – Multi-family use develops along major transportation corridors and areas of commercial use, close to areas of existing amenities, schools and employment.

Other factors that impact public health, safety or welfare – None identified.

PLANNING DEPARTMENT ANALYSIS

SITE DESCRIPTION

The 3.856-acre tract is part of the larger 62-acre property addressed at 1722 Steffens Rd. The property was the site of a former organic herb farm. This portion of the property is undeveloped.

CODE REQUIREMENTS:

In order to develop this portion as multi-family, the property must be rezoned to one of the three multi-family zoning classes (based on density). The request for this 3.856-acre tract is for MF-2, which is the medium density. This zoning allows 12 units per acre. There is a potential of 46 units based on the acreage.

COMPATIBILITY WITH SURROUNDING LAND USE & ZONING:

The northeast corner of State Hwy 123 Bypass North and US Hwy 90 E is mostly undeveloped. On the north side of US Hwy 90 E, there is a vet clinic zoned commercial and the Seguin Christian Academy zoned public. There is a residential use south of US Hwy 90 E. To the north of the properties, there is the railroad right-of-way. To the west is the Bypass right-of-way. On the hard corner of the Bypass and US Hwy 90 E, the property is slated for a convenience store and is in the review process for the site and building plan; it is zoned commercial. Directly across US Hwy 90E is undeveloped land with commercial and multi-family zoning. There are a few residential structures further east along US Hwy 90 E.

HEALTH, SAFETY, AND GENERAL WELFARE: (Protection & preservation of historical, cultural, and environmental areas.)

A small portion of the proposed rezone area is in the 500 year FEMA floodplain.

COMPREHENSIVE PLAN (The Future Land Use Plan):

This 3.856-acre tract falls into one future land use district, Riverside. The intent of the Riverside district is to establish a zone where the riverine landscape is preserved with appropriate development and includes the Guadalupe River and the Geronimo Creek. Multi-family uses are not appropriate in this district. The acceptable residential density rate is less than 1 dwelling unit per acre.

TRAFFIC (STREET FRONTAGE & ACCESS):

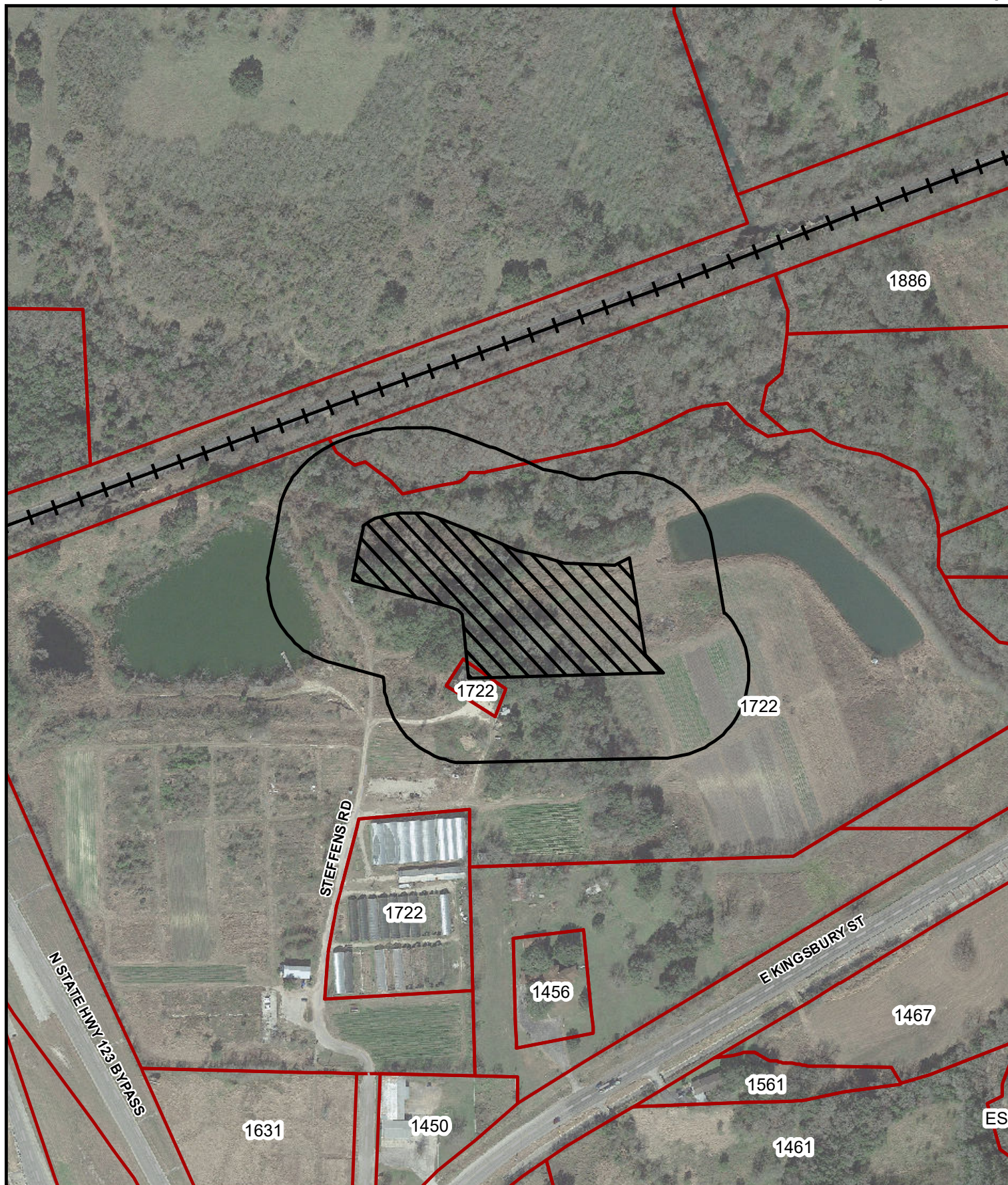
Looking at the larger 62 acres, there is direct access to Steffens Rd, a City of Seguin right-of-way and the western property line fronts the 123 Bypass. Any access onto E Kingsbury and/or 123 Bypass would require approval from TXDOT. There is a Traffic Impact Analysis study for the entire 62 acres in the review process.

OTHER CONSIDERATIONS:

As always, development of vacant land will be required to follow all development standards, to include, but not limited to platting, drainage, landscaping, public improvements (utility extension), etc.




LOCATION MAP

ZC07-23 1722 Steffens (3.856 ac)



This map is for information purposes and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries. The City of Seguin assumes no liability for errors on this map or use of this information.



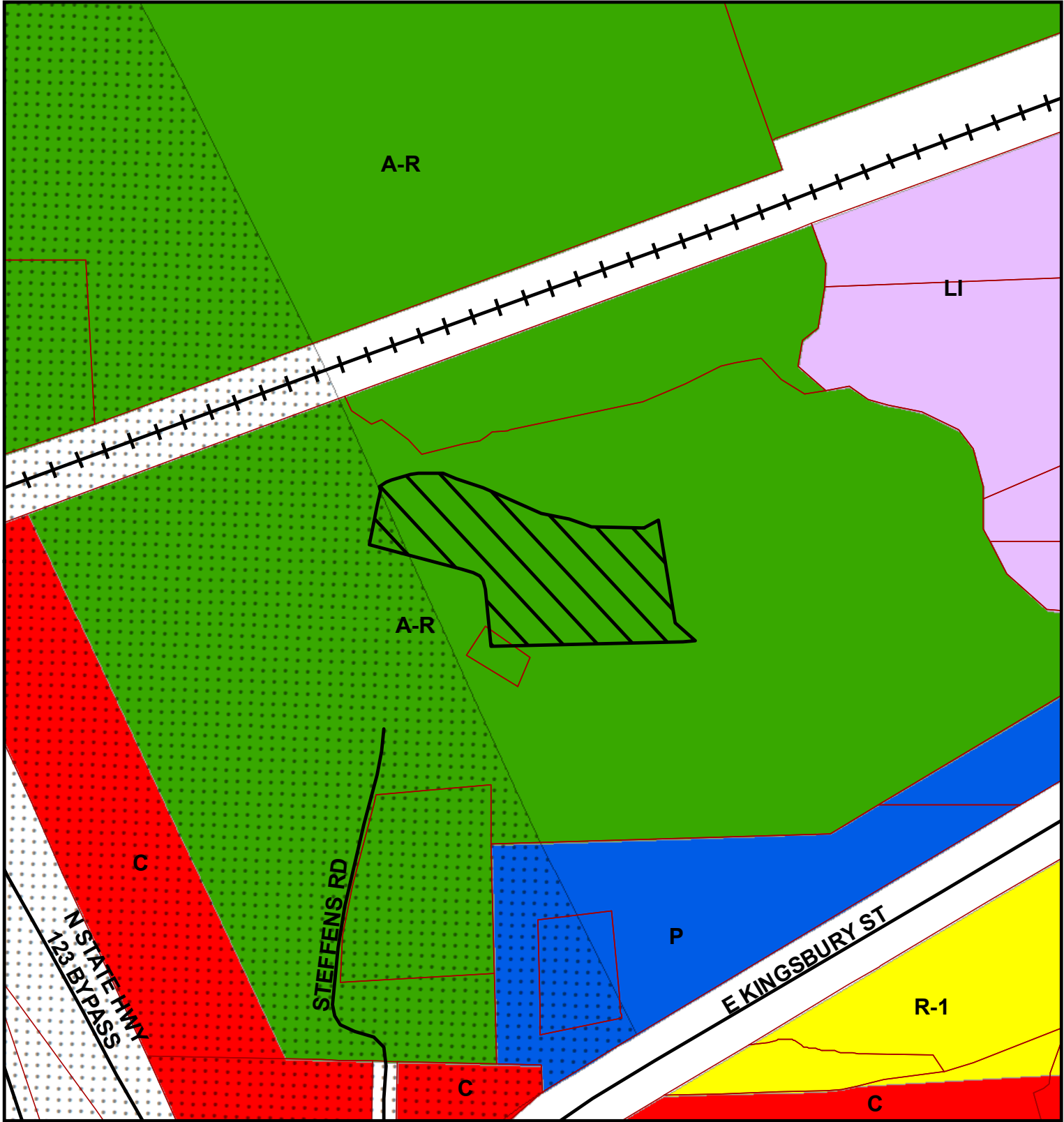
-  Site Location
-  200' Notification Buffer
-  Lot Lines

1 inch = 300 feet

Printed: 2/9/2023

ZONING MAP

ZC07-23 1722 Steffens (3.856 ac)

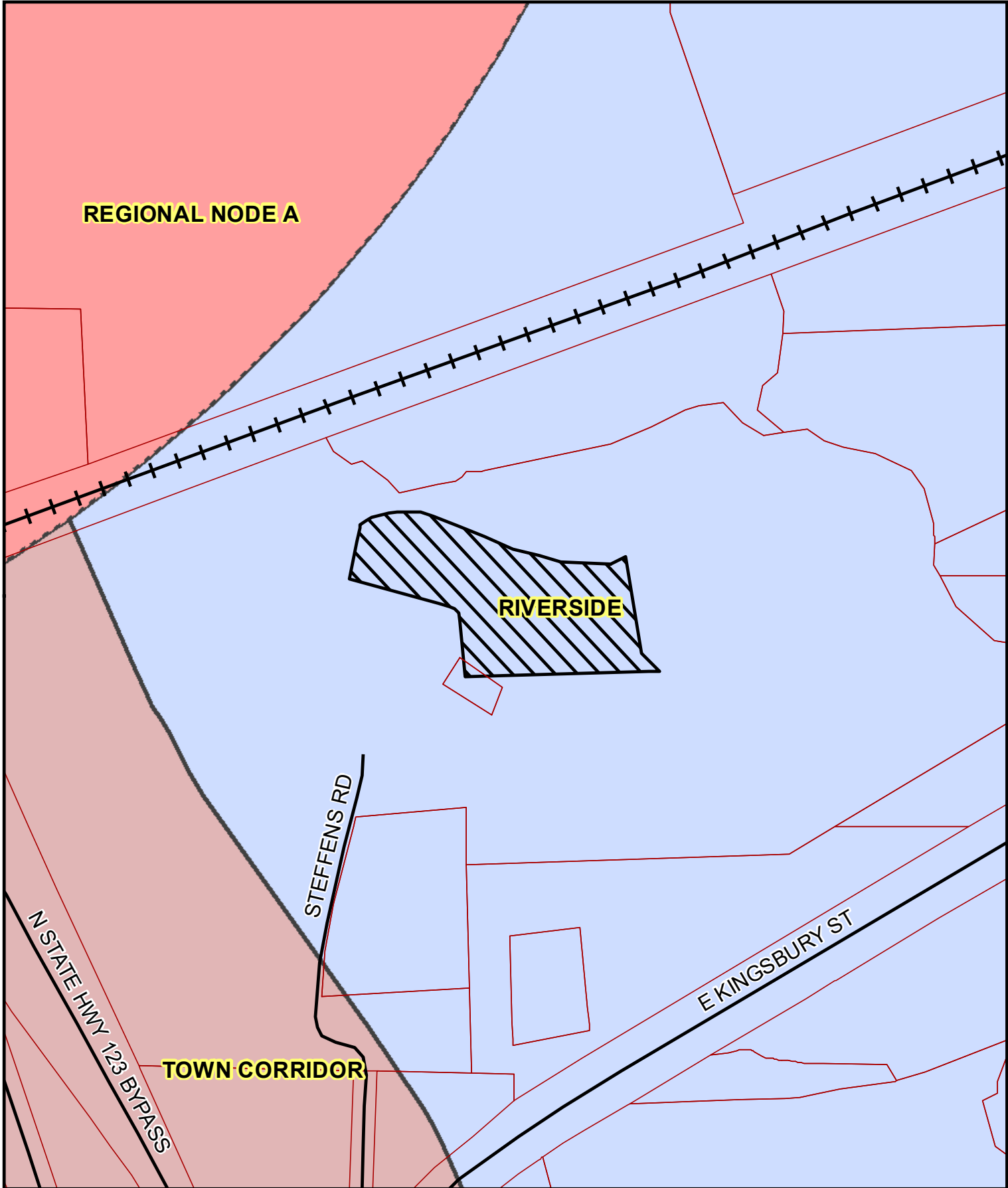


Site Location	Single Family Residential 1	MultiFamily 1	Neighborhood Commercial	Planned Unit Development
Streets	Single Family Residential 2	MultiFamily 2	Commercial	ROW
Agricultural - Ranch	Zero Lot Lines	MultiFamily 3	Light Industrial	
Rural Residential	Duplex 1	Manufactured-Residential	Industrial	
Suburban Residential	Duplex 2	Manufactured Home Park	Public	

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Site Location
 Parcels

1 inch = 300 feet
Printed: 2/9/2023



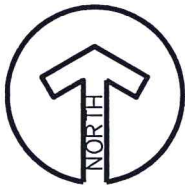
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 Ownership

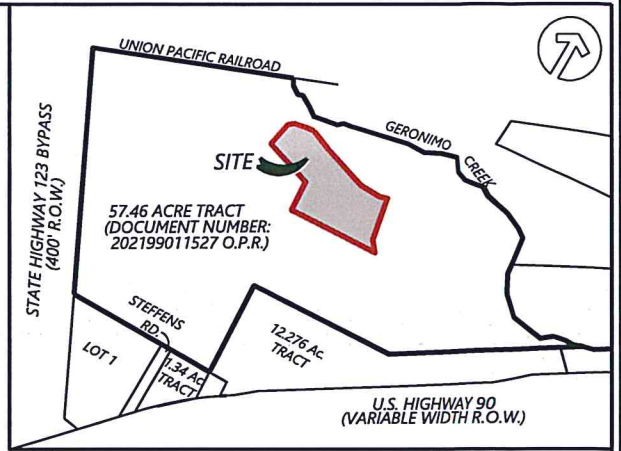
 Site Location

1 inch = 300 feet

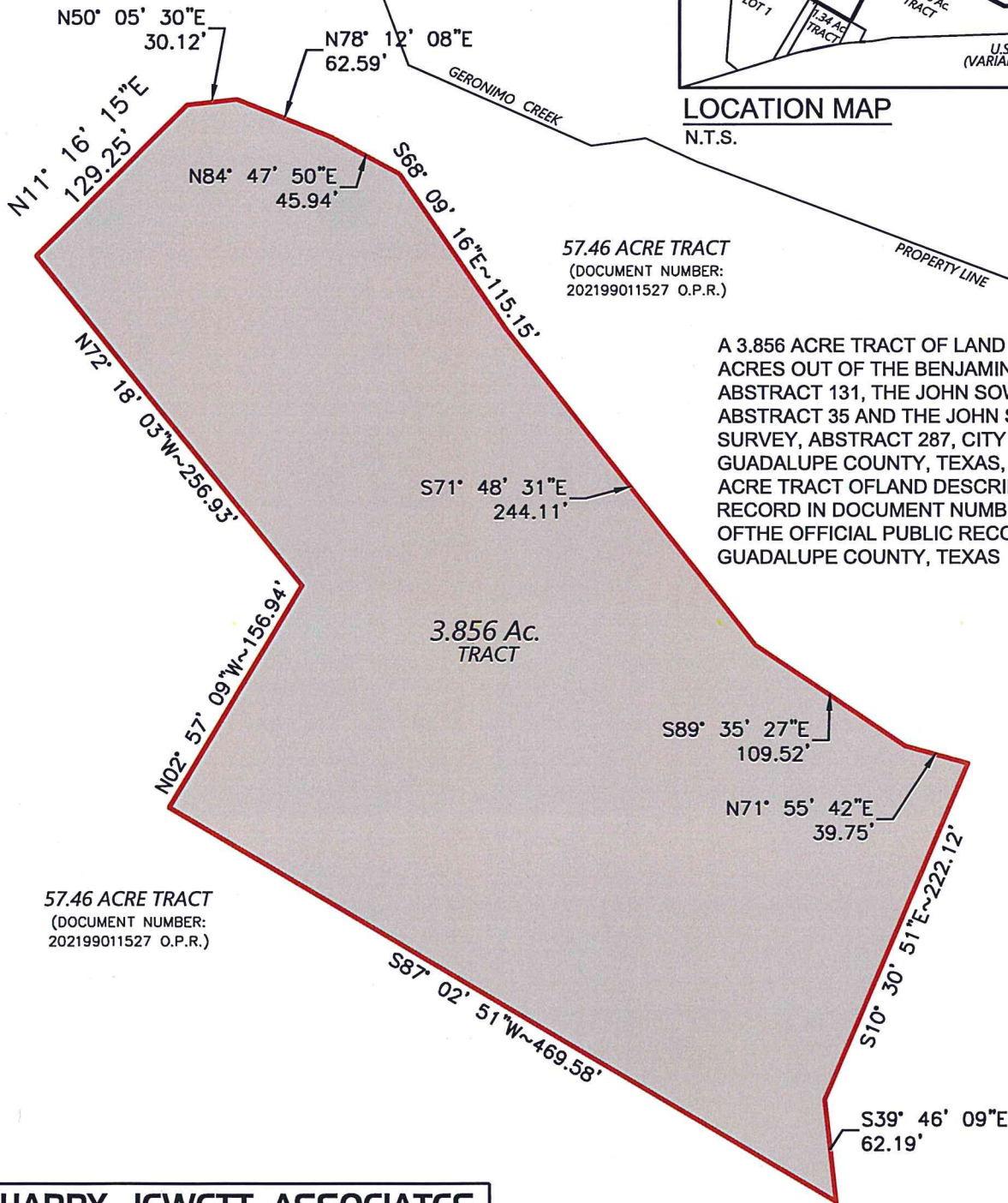
Printed: 2/9/2023



SCALE: 1" = 100'



LOCATION MAP
N.T.S.



A 3.856 ACRE TRACT OF LAND OUT OF A 57.51 ACRES OUT OF THE BENJAMIN FUQUA SURVEY, ABSTRACT 131, THE JOHN SOWELL SURVEY, ABSTRACT 35 AND THE JOHN SOWELL, SR SURVEY, ABSTRACT 287, CITY OF SEGUIN, GUADALUPE COUNTY, TEXAS, BEING THAT 57.46 ACRE TRACT OF LAND DESCRIBED IN DEED OF RECORD IN DOCUMENT NUMBER 202199011527 OF THE OFFICIAL PUBLIC RECORDS OF GUADALUPE COUNTY, TEXAS

HARRY JEWETT ASSOCIATES
Engineers • Planners

307 West Rhapsody Drive
San Antonio, Texas 78216
(210) 737-3417

TEXAS REGISTERED ENGINEERING FIRM: F-1225 (SAN ANTONIO)
TEXAS LICENSED SURVEYING FIRM: 10001000 (SAN ANTONIO)

JOB NO.: 23002
DATE: 02/06/2023

ZONING CASE
EXHIBIT "A"

Field Note Description of a Zoning Parcel 3.856 Acres

STATE OF TEXAS COUNTY OF GUADALUPE

Being a 3.856 acre parcel of land out of the Benjamin Fuqua Survey, Abstract 131, the John Sowell Survey, Abstract 35, the John Sowell, Sr. Survey, Abstract 287, City of Seguin. Guadalupe County, Texas and being out of that 57.46 acre tract of land described in a deed in the Official Public Records of Guadalupe County, Texas in Document No. 202199011527 and being more particularly described by metes and bounds as follows:

COMMENCING at the most northeast corner of Steffens Road; Steffens Subdivision as recorded in Volume 7, Page 20 of the map records of Guadalupe County, Texas, Steffens Road is a 55 foot wide public right-of-way that is located north of Hwy 90 that dead ends into the 57.46 acre property;

THENCE, N 02°39'34" W for a distance of 300.32 to a point for corner;

THENCE, S 89°59'15" W for a distance of 303.71 feet to a point for corner;

THENCE, N 25°37'27" W for a distance of 1,044.43 feet to a point for corner;

THENCE, N 68°32'51" E for a distance of 665.95 feet to a point for corner;

THENCE, S 27°51'47" E for a distance of 35.67 feet to a point for angle;

THENCE, S 56°42'02" E for a distance of 52.77 feet to a point for angle;

THENCE, N 70°09'28" E for a distance of 24.85 to a point for angle;

THENCE, S 60°33'05" E for a distance of 73.51 feet to a point for angle;

THENCE, S 54°04'33" E for a distance of 46.48 feet to a point for angle, said point being the **POINT OF BEGINNING** of the hereinafter described 3.856 acre parcel;

THENCE, S 68°09'16" E for a distance of 115.15 feet to a point for angle;

THENCE, S 71°48'31" E for a distance of 244.11 feet to a point for angle;

THENCE, S 89°35'27" E for a distance of 109.52 feet to a point for angle;

THENCE, N 71°55'42" E for a distance of 39.75 feet to a point for corner;

THENCE, S 10°30'51" E for a distance of 222.12 feet to a point for angle;

THENCE, S 39°46'09" E for a distance of 62.19 feet to a point for angle;

THENCE, S 87°02'51" W for a distance of 469.58 feet to a point for corner;

THENCE, N 02°57'09" W for a distance of 156.94 feet to a point for corner;

THENCE, N 72°18'03" W for a distance of 256.93 feet to a point for corner;

Page 2 of 2

THENCE, N 11°16'15" E for a distance of 129.25 feet to a point for angle;

THENCE, N 50°05'30" E for a distance of 30.12 feet to a point for angle;

THENCE, N 78°12'08" W for a distance of 62.59 feet to a point for angle;

THENCE, N 84°47'50" E for a distance of 45.94 feet to a point for corner, said corner being the **POINT OF BEGINNING** of the heretofore described 3.856 acre parcel.

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HJA
Job No. 23002
February 13, 2023